

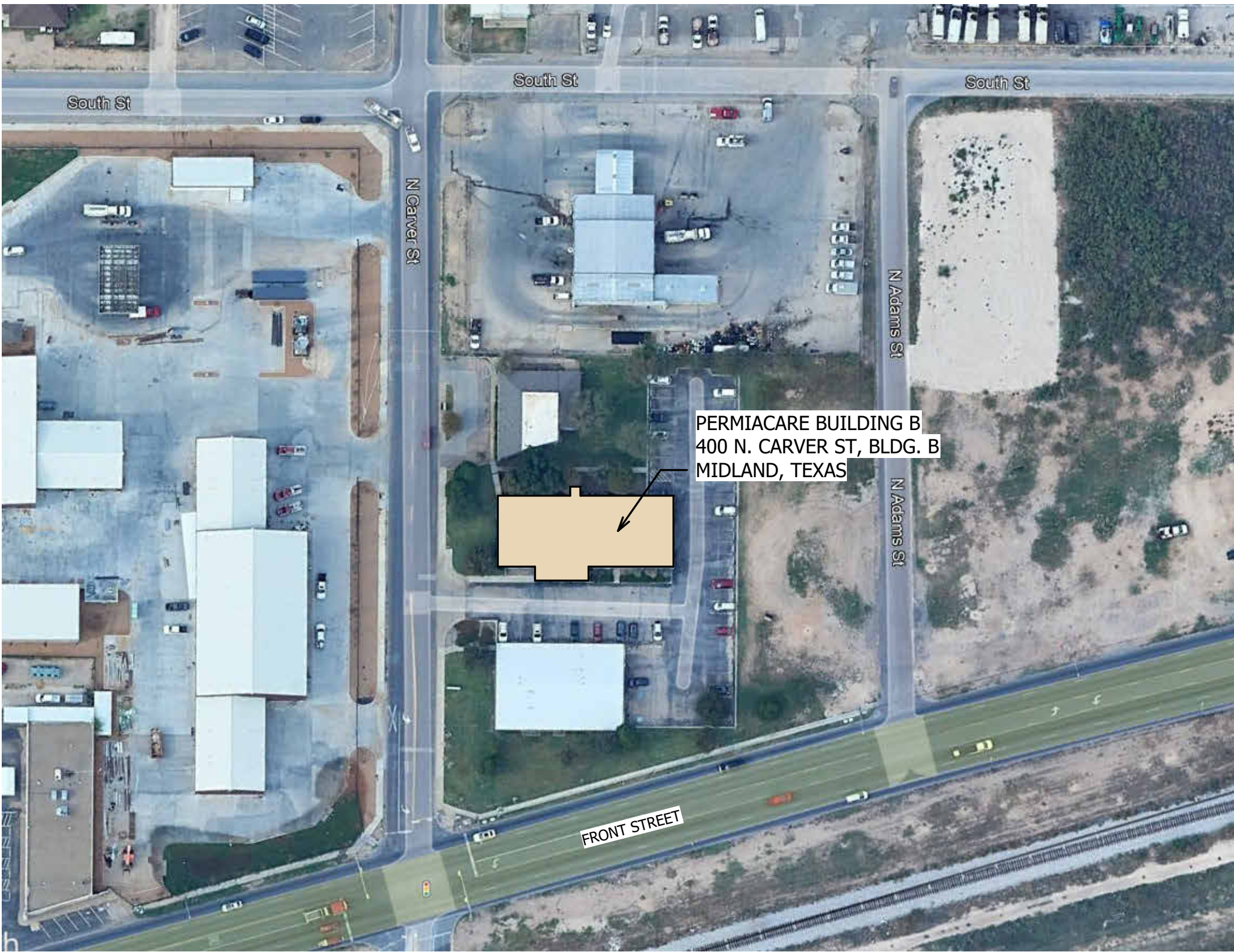
REMODEL FOR:
PERMIACARE



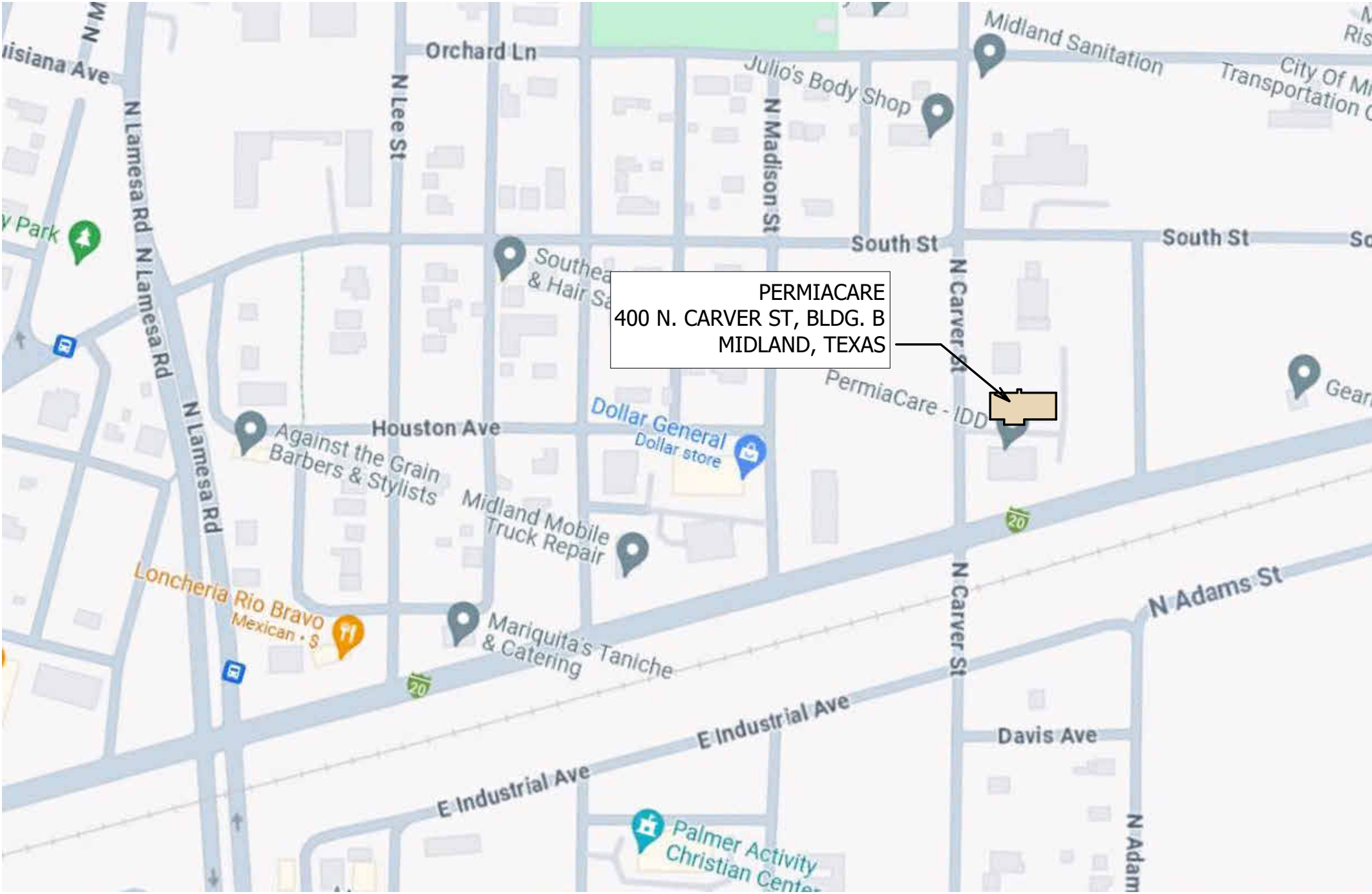
400 N. CARVER STREET, BUILDING B
RFP 24-0607

LIST OF DRAWINGS

A01	COVER SHEET
REGULATORY, CODE AND ZONING	
ZC01	OCCUPANCY CODE ANALYSIS
TAS1	TAS INFORMATION
TAS2	TAS INFORMATION
ARCHITECTURAL	
C101	EXISTING IMPROVEMENTS SURVEY
D101	DEMO PLAN
ASP101	SITE PLAN
A201	DIMENSIONAL FLOOR PLAN AND PARTITION TYPES
A301	REFLECTED CEILING PLAN
A401	FINISH PLAN
A501	MILLWORK
A601	ELEVATIONS
A801	DOOR SCHEDULE & DETAILS
MECHANICAL	
M101	MECHANICAL PLAN
PLUMBING	
P101	PLUMBING PLAN
ELECTRICAL	
E101	ELECTRICAL PLAN
E102	SPECIAL SYSTEMS



SATELLITE MAP



LOCATION MAP

ARCHITECTS:



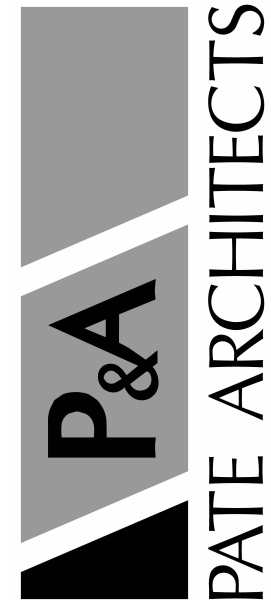
PATE ARCHITECTS

4500 W. ILLINOIS, SUITE 302
MIDLAND, TEXAS 79703
(432) 697-0037 FAX (432) 697-0039
WFP.AIA@PateArchitects.com

TAS: TDLR PROJECT NO: TABS ???????

BID SET -
NOT FOR PERMITTING,
REGULATORY APPROVAL,
OR CONSTRUCTION
WALTER F. PATE, AIA

4500 W. ILLINOIS, SUITE 302
MIDLAND, TEXAS 79703
432.697.0037
www.PateArchitects.com



PATE ARCHITECTS

RFP 24-0607 REMODEL FOR:
PERMIACARE
400 N. CARVER STREET, BLDG B
MIDLAND, TEXAS

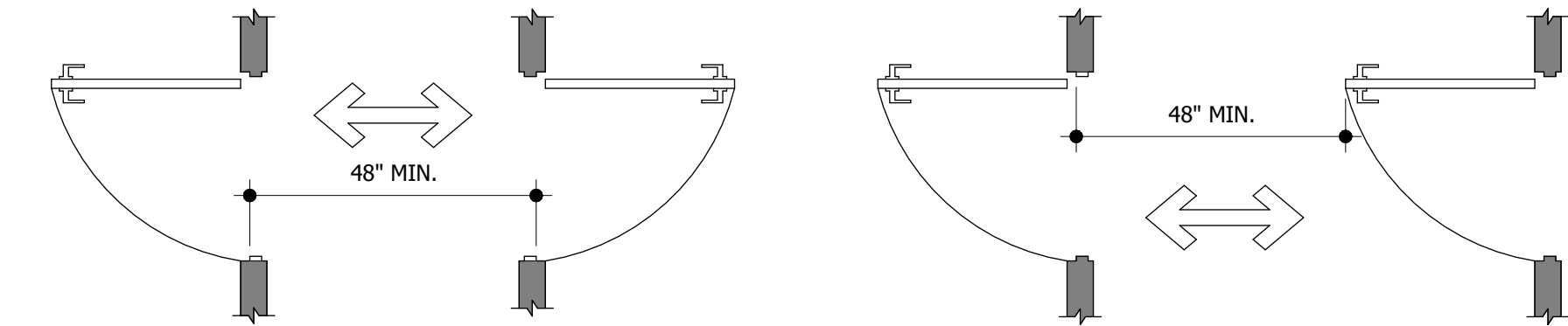
DATE ISSUED
06/07/24

REVISIONS

SHEET NUMBER

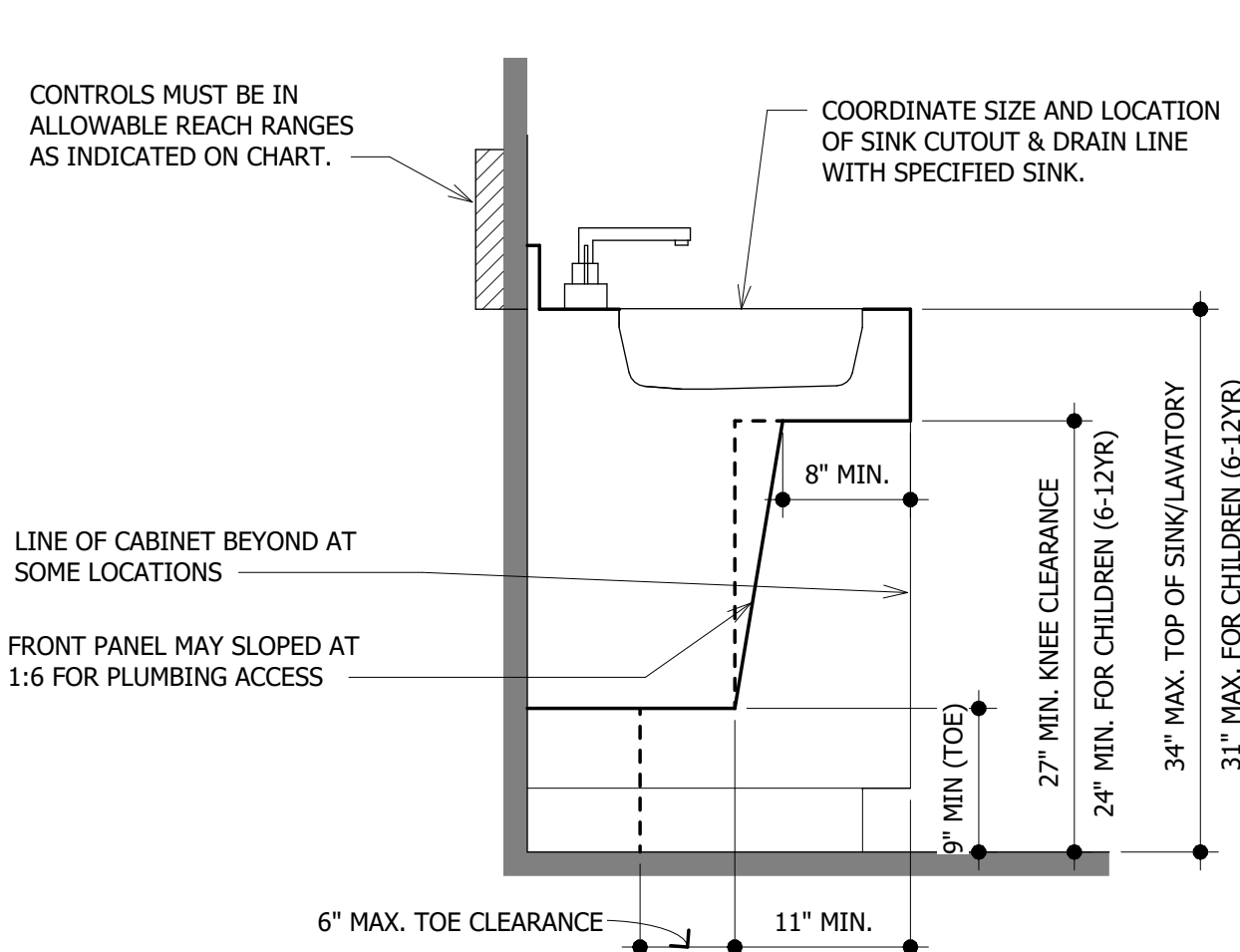
A01

JOB NO. 2401A



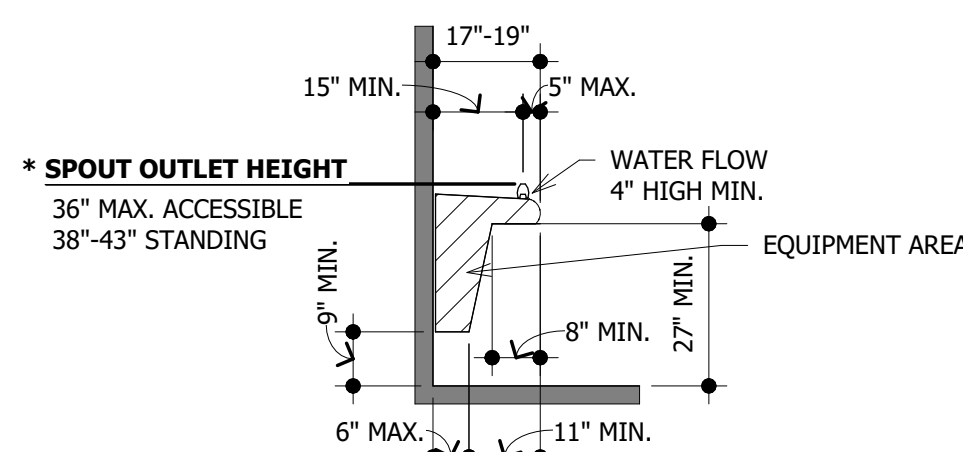
DOORS IN A SERIES

F ACCESSIBLE DOOR DIAGRAMS
TAS1 3/8" = 1'-0"

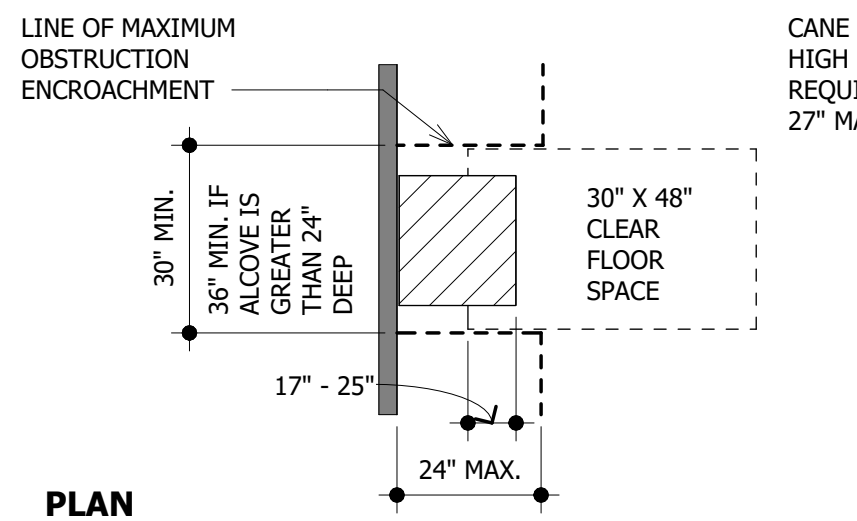


GENERAL NOTES:
1. A PARALLEL APPROACH CAN BE PROVIDED TO LAVATORIES AND SINKS USED PRIMARILY BY CHILDREN 5 YEARS AND YOUNGER.
2. DIP OF THE OVERFLOW SHALL NOT BE CONSIDERED IN DETERMINING KNEE AND TOE CLEARANCES.
3. METERED FAUCETS SHALL REMAIN OPEN FOR 10 SECONDS MINIMUM.

D ACCESSIBLE SINK AND LAVATORY
TAS1 1" = 1'-0" SEE TAS SECTIONS 306.1, 606.2



SIDE ELEVATION

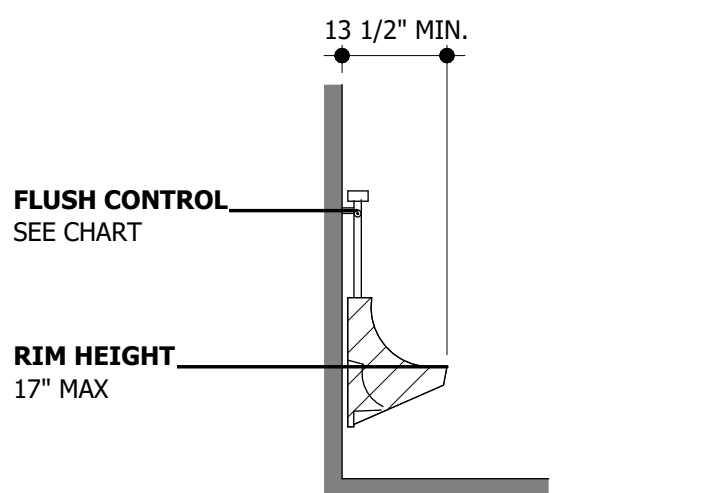


PLAN

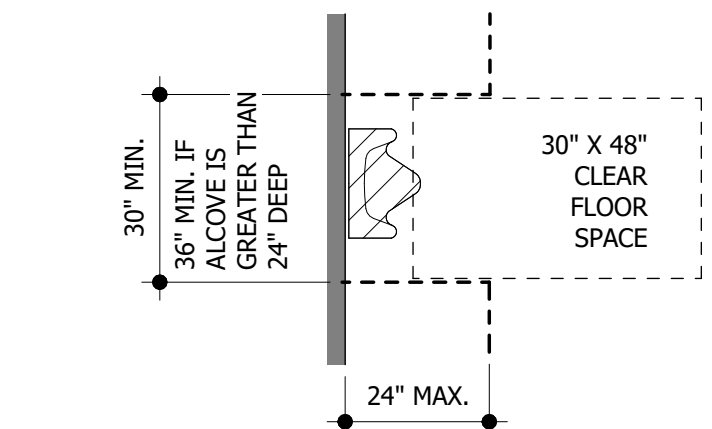
* PROVIDE A MIN. OF ONE ACCESSIBLE & ONE STANDING DRINKING FOUNTAIN PER PROJECT

GENERAL DRINKING FOUNTAIN NOTES
1. A PARALLEL APPROACH SHALL BE PERMITTED AT UNITS FOR CHILDREN'S USE WHERE THE SPOUT IS 30" MAX A.F.F. AND IS 3 1/2" MAX FROM THE FRONT EDGE OF THE UNIT.
2. WHERE MORE THAN 2 DRINKING FOUNTAINS ARE PROVIDED 50% MUST COMPLY WITH 602.1-602.6 (ACCESSIBLE) AND 50% COMPLY WITH 602.7 (STANDING) HEIGHTS. 211.3

B ACCESSIBLE DRINKING FOUNTAIN
TAS1 3/8" = 1'-0" SEE TAS SECTIONS 211 & 602

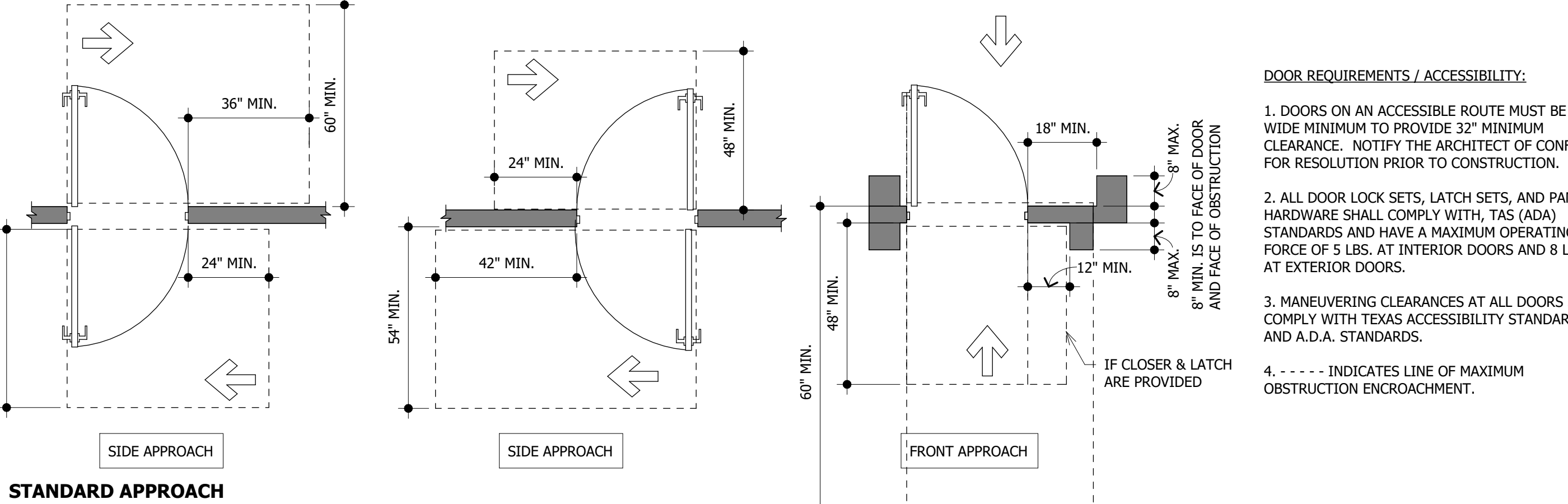
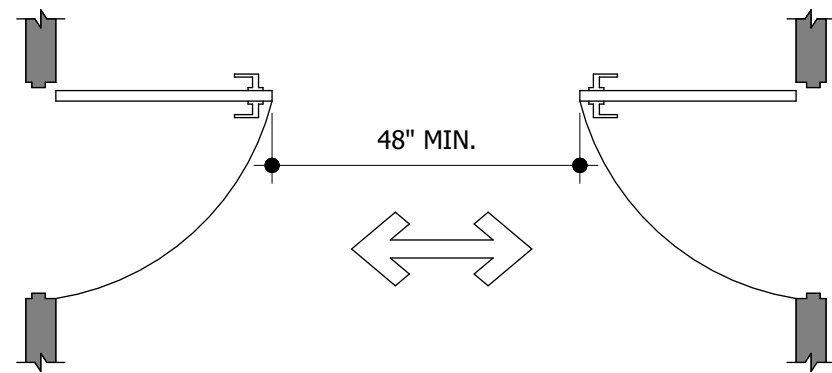


SIDE ELEVATION



FLOOR PLAN

C ACCESSIBLE URINAL
TAS1 3/8" = 1'-0" SEE TAS SECTIONS 305, 309, 605

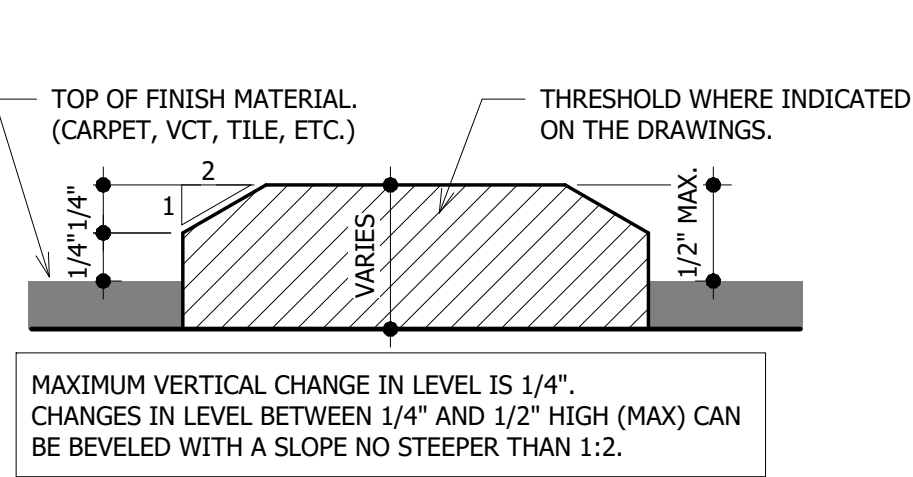


STANDARD APPROACH

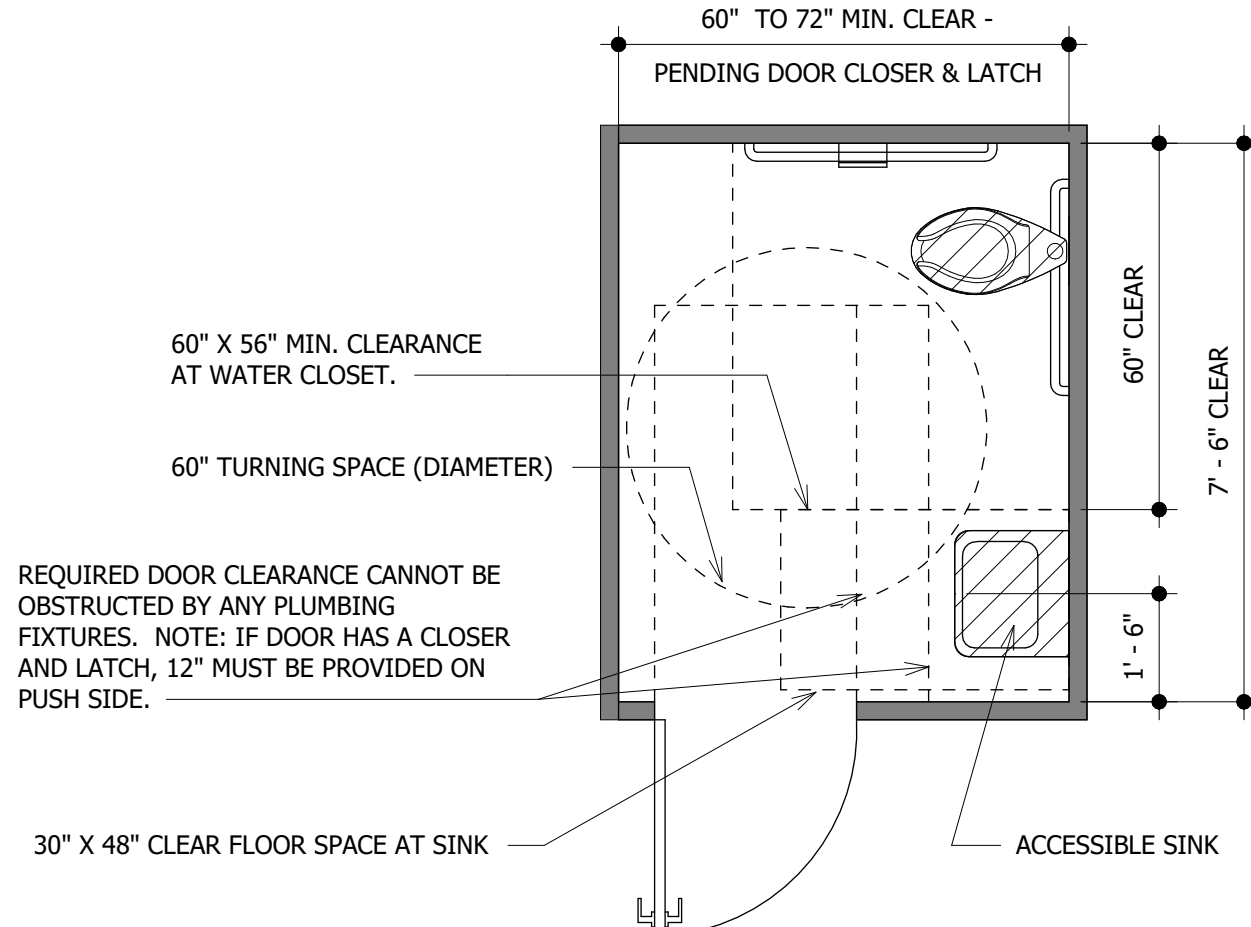
DOOR REQUIREMENTS / ACCESSIBILITY:

1. DOORS ON AN ACCESSIBLE ROUTE MUST BE 36" WIDE MINIMUM TO PROVIDE 32" MINIMUM CLEARANCE. NOTIFY THE ARCHITECT OF CONFLICTS FOR RESOLUTION PRIOR TO CONSTRUCTION.
2. ALL DOOR LOCK SETS, LATCH SETS, AND PANIC HARDWARE SHALL COMPLY WITH, TAS (ADA) STANDARDS AND HAVE A MAXIMUM OPERATING FORCE OF 5 LBS. AT INTERIOR DOORS AND 8 LBS. AT EXTERIOR DOORS.
3. MANEUVERING CLEARANCES AT ALL DOORS SHALL COMPLY WITH TEXAS ACCESSIBILITY STANDARDS, AND A.D.A. STANDARDS.
4. - - - - INDICATES LINE OF MAXIMUM OBSTRUCTION ENCROACHMENT.

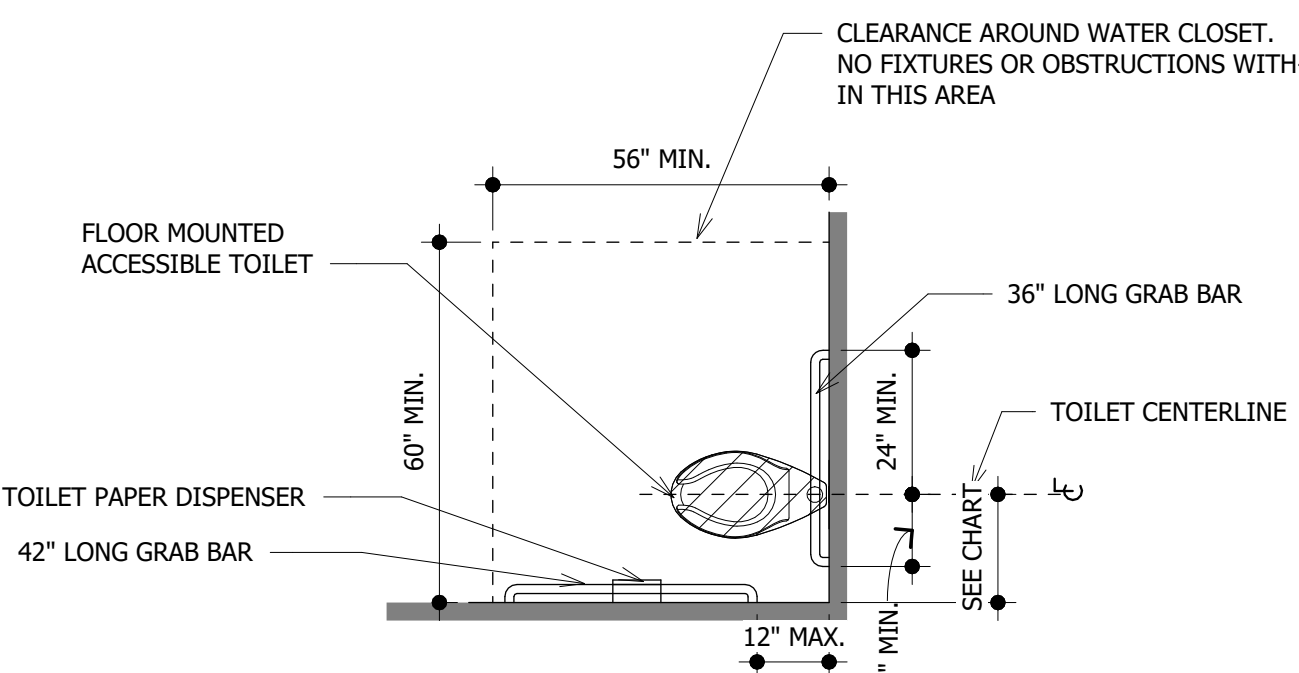
SEE TAS SECTION 404



E THRESHOLD
TAS1 12" = 1'-0" SEE TAS SECTION 302, 303 AND 404.2.5



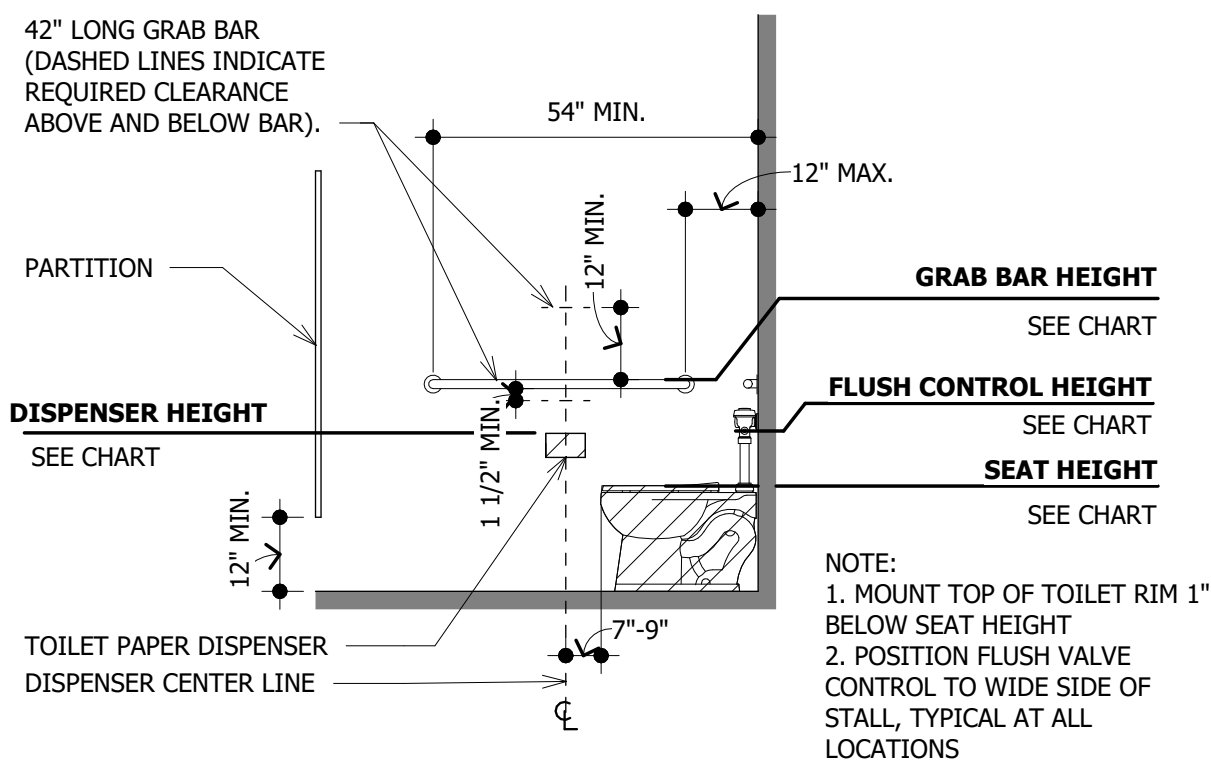
FLOOR PLAN - SINGLE OCCUPANCY (OUTWARD SWINGING DOOR)



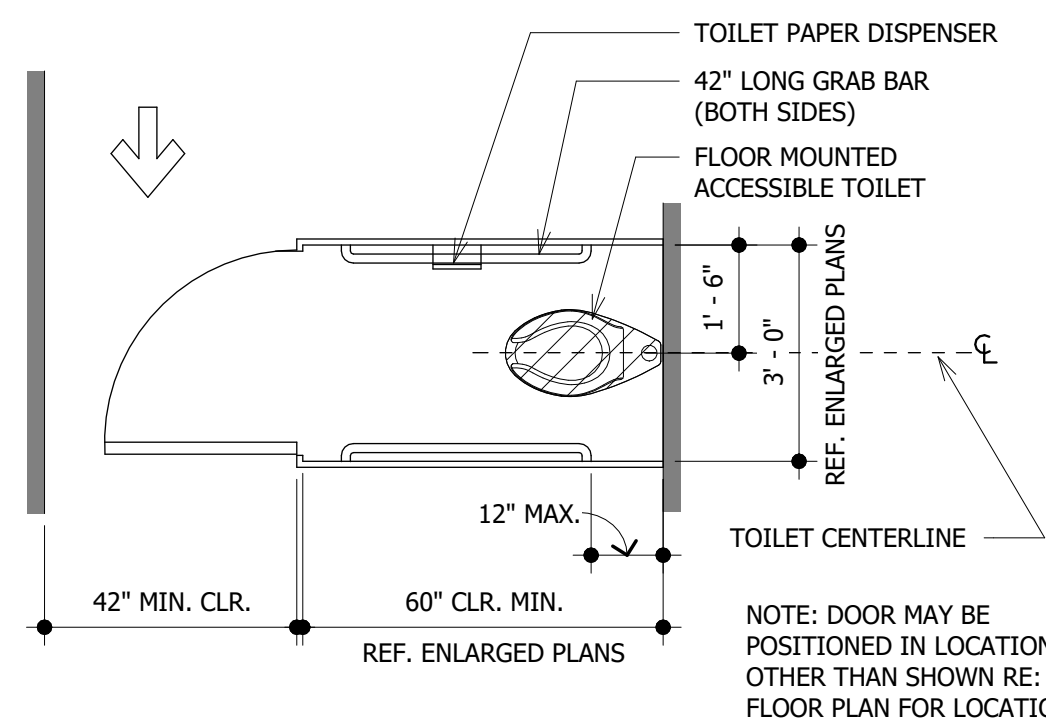
FLOOR PLAN - SINGLE OCCUPANCY

GENERAL WATER CLOSET NOTES:
1. REQUIRED CLEAR FLOOR SPACES, CLEARANCE AT FIXTURES, AND TURNING SPACE SHALL BE PERMITTED TO OVERLAP
2. DOORS SHALL NOT SWING INTO THE CLEAR FLOOR SPACE OR CLEARANCE REQUIRED FOR ANY FIXTURE
EXCEPT IN A TOILET ROOM FOR INDIVIDUAL USE WHERE THE 30"X48" CLEAR FLOOR SPACE IS PROVIDED BEYOND THE ARC OF THE DOOR SWING.
3. ALL DOORS MUST COMPLY WITH THEIR CLEAR FLOOR SPACE REQUIREMENTS.
4. IF THE TOTAL NUMBER OF TOILET FIXTURES (INCLUDING URINALS) IN A RESTROOM IS EQUAL TO 6 OR MORE, THEN AN AMBULATORY STALL IS REQUIRED.
5. DIMENSIONS SHOWN FROM WALL ARE ASSUMED TO BE CLEAR DIMENSIONS. CONTRACTOR TO ALLOW FOR FINISH MATERIAL.

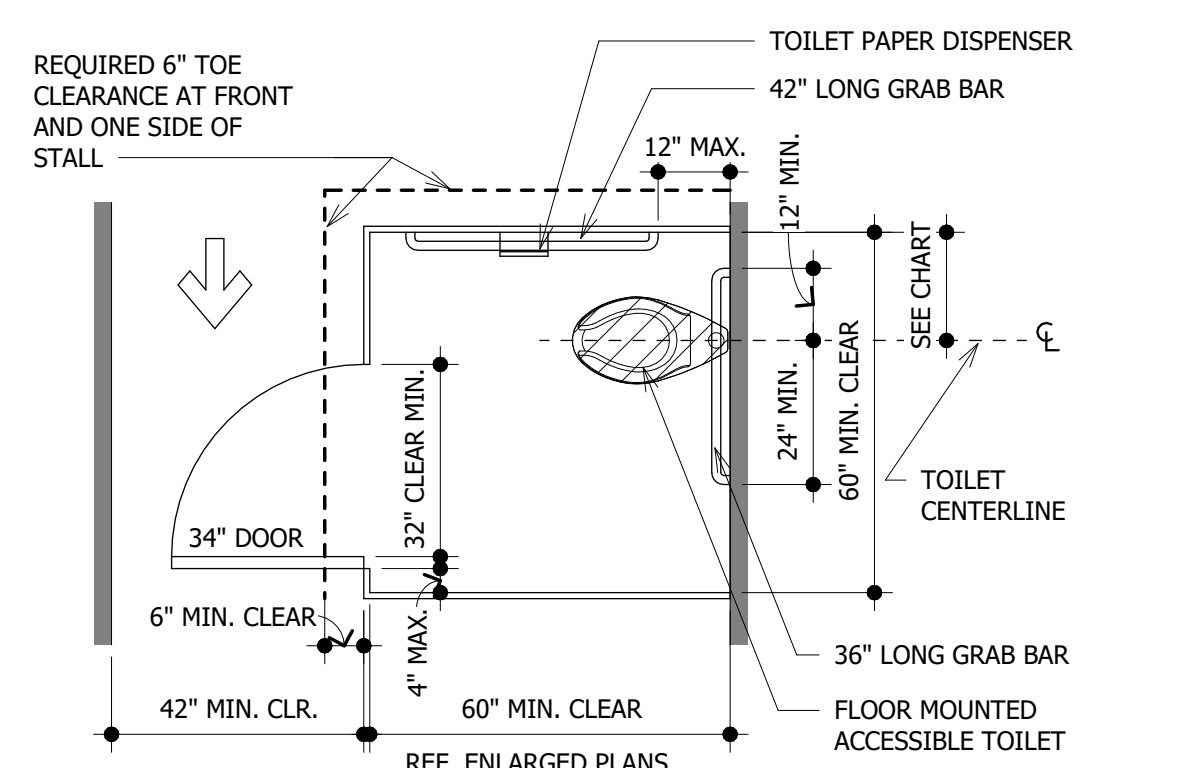
A ACCESSIBLE WATER CLOSETS
TAS1 3/8" = 1'-0" SEE TAS SECTIONS 213, 304, 404, & 604



SIDE ELEVATION (USE FOR ALL PLANS)



FLOOR PLAN - AMBULATORY STALL



FLOOR PLAN - PARTITION STALL

NOTE: DOOR MAY BE POSITIONED IN LOCATION OTHER THAN SHOWN RE: FLOOR PLAN FOR LOCATION

MOUNTING CHART			
DESCRIPTION & LOCATION	ACCESSIBLE DIMENSIONS ADULT	STANDARD (NON ADA)	ACCESSIBLE DIMENSIONS CHILDREN (AGES 5 TO 12)
FORWARD AND SIDE REACH RANGES	15" TO 48"	-----	18" TO 40"
WATER CLOSET CENTERLINE TO WALL	17"	PER PLAN	15"
TOILET SEAT HEIGHT	18"	16"	15"
TOILET & SHOWER STALL GRAB BAR HEIGHTS	34"	-----	25"
TOP OF TOILET PAPER DISPENSER HEIGHT	2" BELOW GRAB BAR	18"	2" BELOW GRAB BAR
FLUSH CONTROL HEIGHT FOR WATER CLOSET	2" MIN. BELOW GRAB BAR	48"	2" MIN. BELOW GRAB BAR
POSITION FLUSH VALVE TO WIDE SIDE OF STALL OR ROOM	36" MAX AND 42" STANDING	42"	36" MAX AND 42" STANDING
DRINKING FOUNTAIN & WATER COOLER SPOUT HEIGHT	36" MAX AND 42" STANDING	42"	36" MAX AND 42" STANDING
FLUSH CONTROL HEIGHT FOR URINAL	44"	46"	38"
POSITION FLUSH VALVE TO WIDE SIDE OF STALL OR ROOM	44"	46"	38"
MIRRORS MOUNTED ABOVE COUNTER TOPS OR SINKS	76" AFF TO TOP EDGE	76" AFF TO TOP EDGE	76" AFF TO TOP EDGE
HEIGHTS ARE TO REFLECTING SURFACE	40" MAX BOTTOM EDGE	40" MAX BOTTOM EDGE	40" MAX BOTTOM EDGE
LAVATORY AND SINK RIM HEIGHT	34" MAX	36"	31" MAX
PAPER TOWEL DISPENSER CONTROL HEIGHT	46"	48"	38"
SOAP DISPENSER CONTROL HEIGHT	46"	48"	38"
TOWEL BAR	34"	48"	25"
LIGHT SWITCHES, THERMOSTATS, WALL MOUNTED COMMUNICATION AND FIRE ALARM PULL DEVICES. HEIGHT TO CENTER OF CONTROL.	46"	48"	38"
ELECTRICAL OUTLETS, TELEPHONE OUTLETS, & DATA RECEPTACLES. HEIGHT TO CENTER OF OUTLET OR RECEPTACLE.	18"	18"	18"
TOP OF STAIR AND RAMP HANDRAILS	36"	36"	-----
HEIGHT IS ABOVE STAIR NOSING OR RAMP SURFACE	36"	36"	-----
CENTER OF PLAQUE	-----	60"	-----
FIRE EXTINGUISHER CABINET. HEIGHT TO DOOR HANDLE	46"	42"	38"
HEIGHT OF WORK SURFACES	34" MAX	30"	-----
HEIGHT OF TABLES AND COUNTERS	30" MAX	30"	-----
1. ON PLUMBING FIXTURES THERE IS A RANGE OF +/- 1". 2. CHILDREN AGES 5 THRU 12 REPRESENTS PRIMARY USER GROUP AS ELEMENTARY STUDENTS. MIDDLE SCHOOL IS CONSIDERED ADULT.			

THIS SHEET IS PATE ARCHITECTS INTERPRETATION OF THE 2012 TEXAS ACCESSIBILITY STANDARDS & 2010 ADA. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL TAS, ADA, AND TDLR REQUIREMENTS. VERIFY CONFLICTS OR DISCREPANCIES BETWEEN STANDARDS AND DRAWINGS WITH PATE ARCHITECTS. NOT ALL STANDARDS ARE COVERED ON THESE SHEETS.

FOR REVIEW ONLY -
NOT FOR PERMITTING,
REGULATORY APPROVAL,
OR CONSTRUCTION
WALTER F. PATE, AIA

4500 W. ILLINOIS, SUITE 302
MIDLAND, TEXAS 79703

P&A
PATE ARCHITECTS

RFP 24-0607 REMODEL FOR:
PERMIACARE

400 N. CARVER STREET, BLDG B

MIDLAND, TEXAS

DATE ISSUED
06/07/24

REVISIONS

SHEET NUMBER

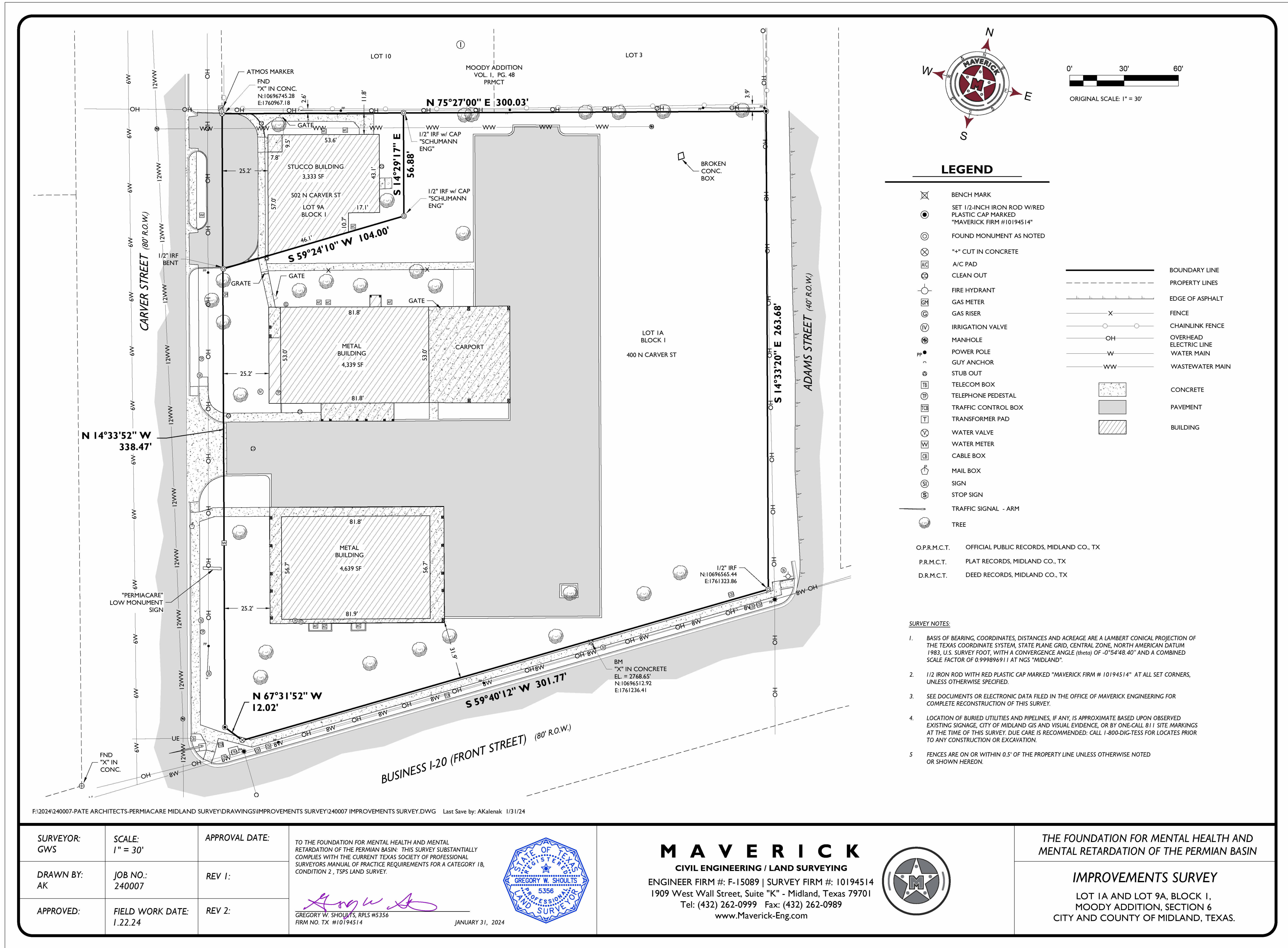
TAS1

JOB NO.

2401A

432.697.0037
www.PateArchitects.com





BID SET -
NOT FOR PERMITTING,
REGULATORY APPROVAL,
OR CONSTRUCTION
WALTER F. PATE, AIA

4500 W. ILLINOIS, SUITE 302
MIDLAND, TEXAS 79703

P&A
PATE ARCHITECTS

432.697.0037
www.PateArchitects.com

RFP 24-0607 REMODEL FOR:
PERMIACARE

400 N. CARVER STREET, BLDG B

MIDLAND, TEXAS

DATE ISSUED
06/07/24

REVISIONS

SHEET NUMBER

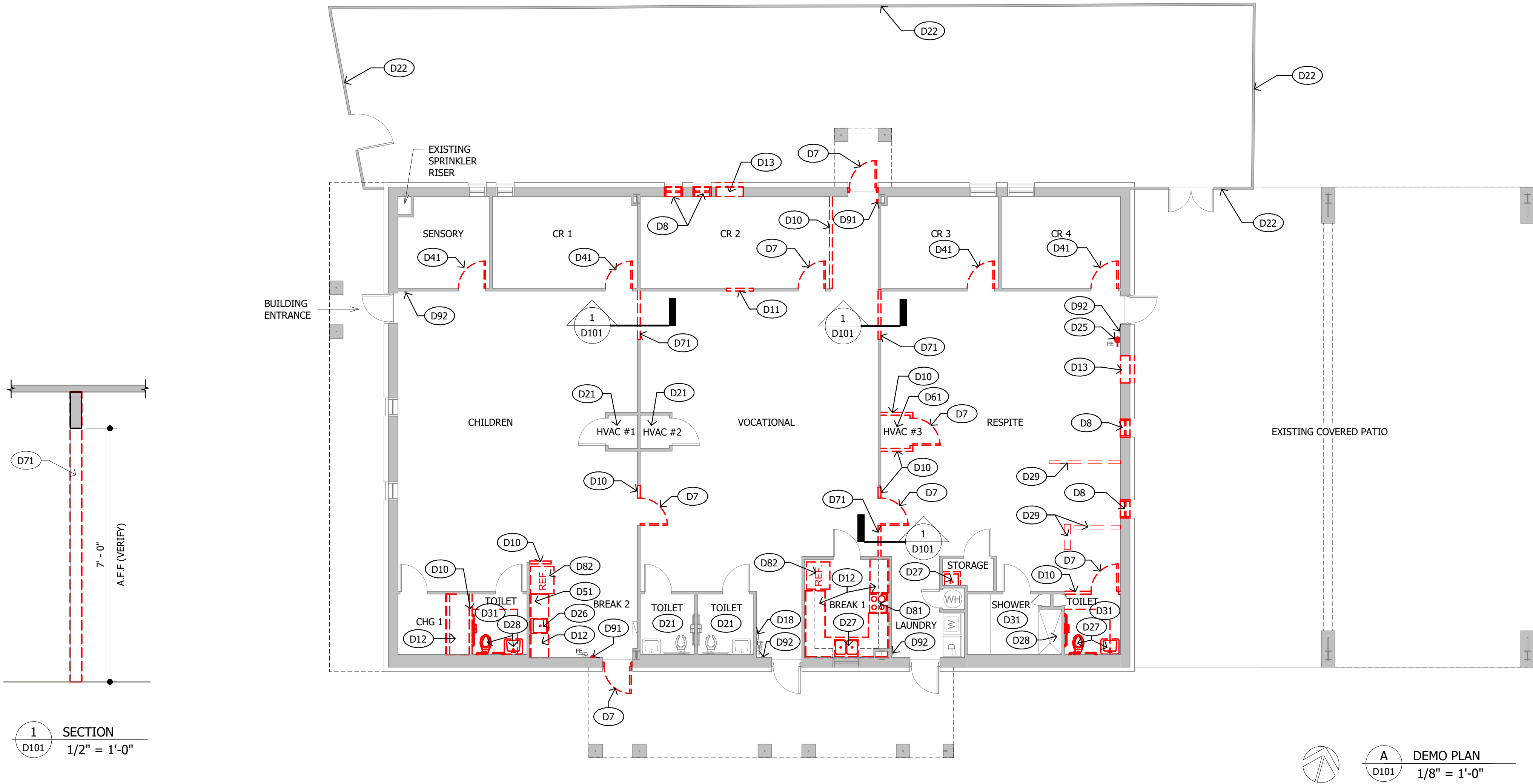
C101

JOB NO.

2401A

GENERAL KEYNOTES	
G1	ALL CONSTRUCTION TO COMPLY WITH LOCAL BUILDING CODES AND ORDINANCES AND REQUIREMENTS OF THE TEXAS ACCESSIBILITY STANDARDS (TAS).
G2	INFORMATION SHOWN REGARDING THE EXISTING BUILDING IS CORRECT TO THE BEST KNOWLEDGE AND BELIEF OF THE ARCHITECT. MINOR DISCREPANCIES MAY BE FOUND. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REVIEWING AND FIELD VERIFYING ALL CONDITIONS AT THE JOB SITE.
G3	THE OWNERS ADJACENT BUILDING WILL REMAIN OPEN AND OPERATIONAL DURING NORMAL BUSINESS HOURS THROUGHOUT THE CONSTRUCTION PERIOD.
G7	PROTECT EXISTING CONSTRUCTION WHICH IS TO REMAIN (I.E., WALLS, CEILINGS, DOORS, FINISHES, ETC.) FROM DAMAGE DURING DEMOLITION AND CONSTRUCTION. REPAIR OR REPLACE DAMAGED MATERIALS OR SURFACES WHICH ARE INDICATED TO REMAIN; MATCH EXISTING.
G8	PURCHASE BUILDING PERMITS PRIOR TO ANY CONSTRUCTION OR DEMOLITION WORK. SUPPLY A PHOTOCOPY OF ALL PERMITS TO THE OWNER PRIOR TO BEGINNING WORK WITHIN THE BUILDING.
G9	CONSTRUCTION PERSONNEL ARE TO PARK IN REMOTE AREAS. DO NOT USE THE CLOSE-IN PARKING INTENDED FOR OCCUPANTS AND VISITORS OF OTHER BUILDINGS.
G10	PROVIDE AND PAY FOR SEPARATE TRASH COLLECTION. DO NOT USE THE BUILDING DUMPSTERS.
G18	PROVIDE AND PAY COST OF SITE OFFICE (WITH PHONE AND PHONE ANSWERING MACHINE) AND JOB TOILETS.
G19	LOCATE JOB OFFICE, PARKING AND STORED MATERIALS IN THE CONSTRUCTION STAGING AREA AS SHOWN ON THE DRAWINGS.

DEMO KEYNOTES	
D1	BEFORE BEGINNING ANY DEMOLITION OR NEW CONSTRUCTION WORK, REVIEW THE DRAWINGS AND CONSULT WITH THE BUILDING OWNER FOR PROCEDURE AND REQUIREMENTS TO BE FOLLOWED FOR THE DURATION OF THE PROJECT.
D2	PROTECT EXISTING CONSTRUCTION WHICH IS TO REMAIN (I.E., WALLS, CEILING, DOORS, FINISHES, MILLWORK, ETC.) FROM DAMAGE DURING DEMOLITION AND CONSTRUCTION. REPAIR OR REPLACE DAMAGED MATERIALS OR SURFACES WHICH ARE INDICATED TO REMAIN; MATCH EXISTING.
D3	CAREFULLY REMOVE, PROTECT FROM DAMAGE AND SALVAGE FOR REUSE (AS SPECIFICALLY INDICATED ON THE DRAWINGS OR AS REQUIRED) EXISTING FLUORESCENT AND INCANDESCENT LIGHT FIXTURES, EXISTING ELECTRICAL DEVICES AND DEVICE PLATES, DOORS AND FRAMES, DOOR HARDWARE, ETC. REUSE AS MUCH OF SALVAGED MATERIALS AS IS PRACTICAL. RETURN UN-REUSED MATERIALS TO OWNER'S STOCKPILE.
D4	HEAVY RED DASHED LINES INDICATE EXISTING CONSTRUCTION TO BE REMOVED OR DEMOLISHED. SAW CUT JOINTS AS REQUIRED.
D5	LIGHT (HALF TONE) LINES INDICATED EXISTING CONSTRUCTION TO REMAIN "AS IS" (INTACT)
D6	COMPLETELY REMOVE DEMOLISHED MATERIALS. DO NOT LEAVE ABANDONED DUCTS CONDUITS, PIPE, WIRE, ETC. IN PLACE.
D7	REMOVE DOOR AND FRAME. SALVAGE, PROTECT AND REUSE DOORS AND FRAMES. REPAIR ANY DOOR SCRATCHES OR DAMAGE.
D8	REMOVE WINDOW. SALVAGE FOR REUSE. REUSE WINDOWS WHERE POSSIBLE.
D10	REMOVE EXISTING WALL CONSTRUCTION AND ELECTRICAL WORK. RELOCATE OR REWIRE (AS REQUIRED) LIGHT SWITCHES IN WALLS WHICH ARE DEMOLISHED.
D11	DEMO WALL AS REQUIRED FOR NEW DOOR LOCATION
D12	DEMO EXISTING MILLWORK AS REQUIRED FOR NEW CONSTRUCTION.
D13	DEMO WALL AS REQUIRED FOR NEW WINDOW LOCATION.
D18	PROTECT EXISTING FIRE ALARM PANEL FROM DAMAGE DURING CONSTRUCTION.
D19	PROTECT EXISTING FIRE PROTECTION SPRINKLER SYSTEM. (TYPICAL)
D21	NO DEMOLITION WORK IN THIS AREA.
D22	PROTECT EXISTING FENCE FROM DAMAGE DURING CONSTRUCTION.
D25	RELOCATE EXISTING FIRE EXTINGUISHER.
D26	DEMO PLUMBING FIXTURE ONLY. KEEP WASTELINE FOR REUSE. COORDINATE WITH PLUMBING PLAN.
D27	DEMO AND SALVAGE PLUMBING FIXTURES. DEMO WASTE LINES IN FLOOR. CAP EXISTING ABANDONED SEWER LINES BELOW FLOOR. FILL HOLES IN FLOOR WITH CONCRETE.
D28	DEMO EXISTING PLUMBING FIXTURES, GRAB BARS AND TOILET ACCESSORIES AND PREPARE FOR NEW.
D29	DEMO AND REMOVE EXISTING CONCRETE AS REQUIRED FOR NEW PLUMBING AND SHOWER. VERIFY EXACT LOCATION.
D31	DEMO EXISTING WALL TILE AND PREPARE WALLS FOR NEW TILE.
D41	REMOVE DOOR ONLY. SALVAGE, PROTECT AND REUSE DOORS WHERE POSSIBLE. REPAIR ANY DOOR SCRATCHES OR DAMAGE.
D51	DEMO EXISTING NETWORK HUB AND RELOCATE.
D61	DEMO EXISTING HVAC UNIT AND RELOCATE.
D71	DEMO LOWER PORTION OF WALL AND LEAVE FURR DOWN. SEE SECTION 1/D101.
D81	SALVAGE STOVE FOR REUSE.
D82	SALVAGE REFRIGERATOR FOR REUSE.
D91	DEMO EXISTING FIRE ALARM PULL STATION AND RELOCATE.
D92	PROTECT EXISTING FIRE ALARM PULL STATION FROM DAMAGE DURING CONSTRUCTION.



RFP 24-0607 REMODEL FOR:
PERMIACARE

400 N. CARVER STREET, BLDG B

MIDLAND, TEXAS

DATE ISSUED
06/07/24

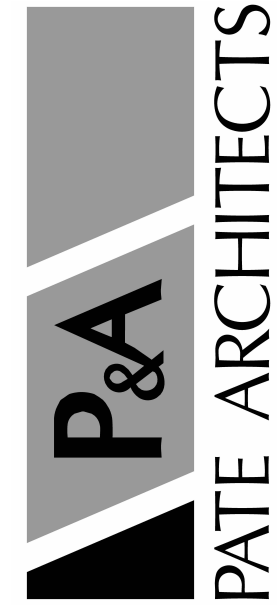
REVISIONS

SHEET NUMBER

D101

JOB NO.

2401A



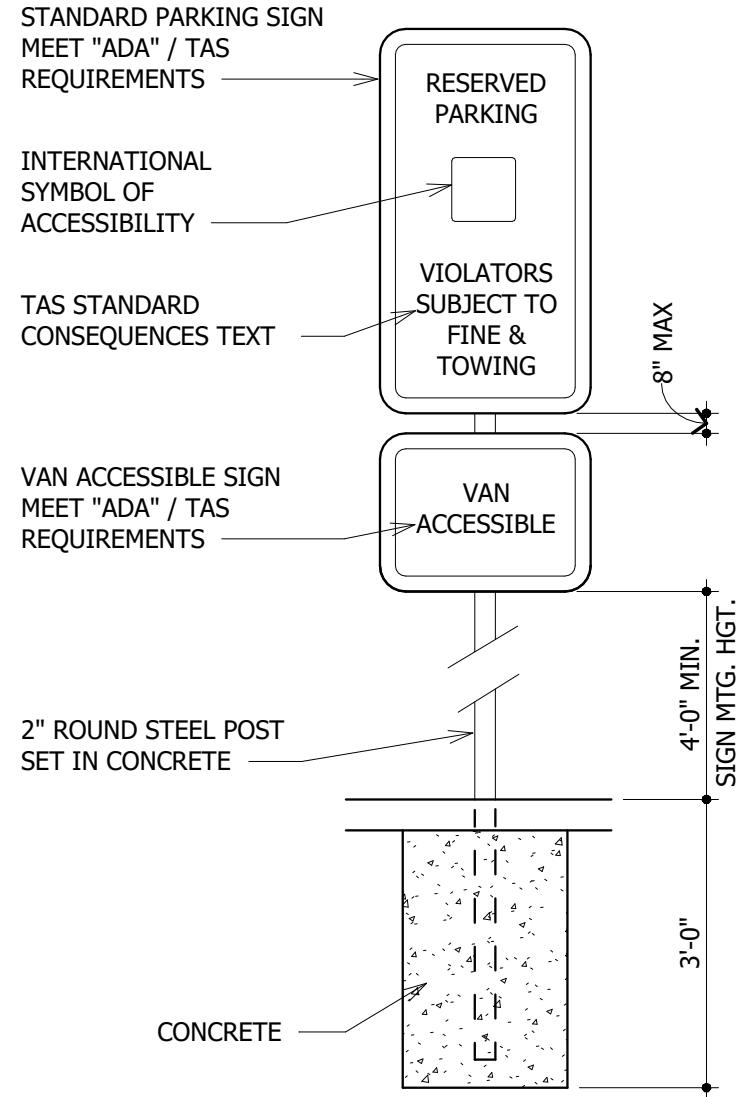
4500 W. ILLINOIS, SUITE 302
MIDLAND, TEXAS 79703

432.697.0037
www.PateArchitects.com

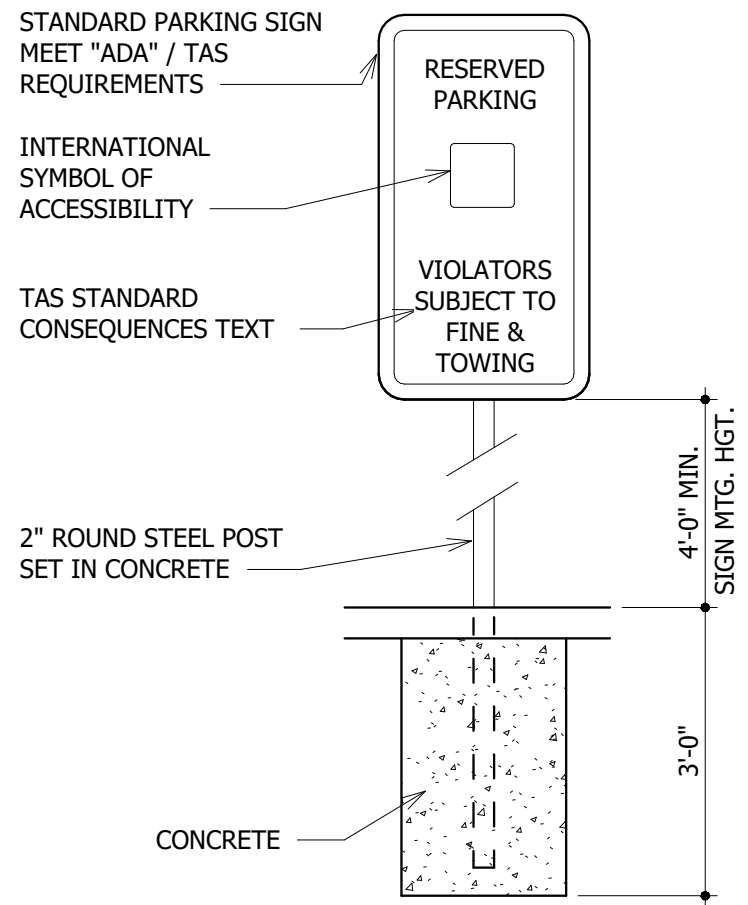
BID SET -
NOT FOR PERMITTING,
REGULATORY APPROVAL,
OR CONSTRUCTION
WALTER F. PATE, AIA

GENERAL KEYNOTES	
G1	ALL CONSTRUCTION TO COMPLY WITH LOCAL BUILDING CODES AND ORDINANCES AND REQUIREMENTS OF THE TEXAS ACCESSIBILITY STANDARDS (TAS).
G2	INFORMATION SHOWN REGARDING THE EXISTING BUILDING IS CORRECT TO THE BEST KNOWLEDGE AND BELIEF OF THE ARCHITECT. MINOR DISCREPANCIES MAY BE FOUND. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REVIEWING AND FIELD VERIFYING ALL CONDITIONS AT THE JOB SITE.
G19	LOCATE JOB OFFICE, PARKING AND STORED MATERIALS IN THE CONSTRUCTION STAGING AREA AS SHOWN ON THE DRAWINGS.

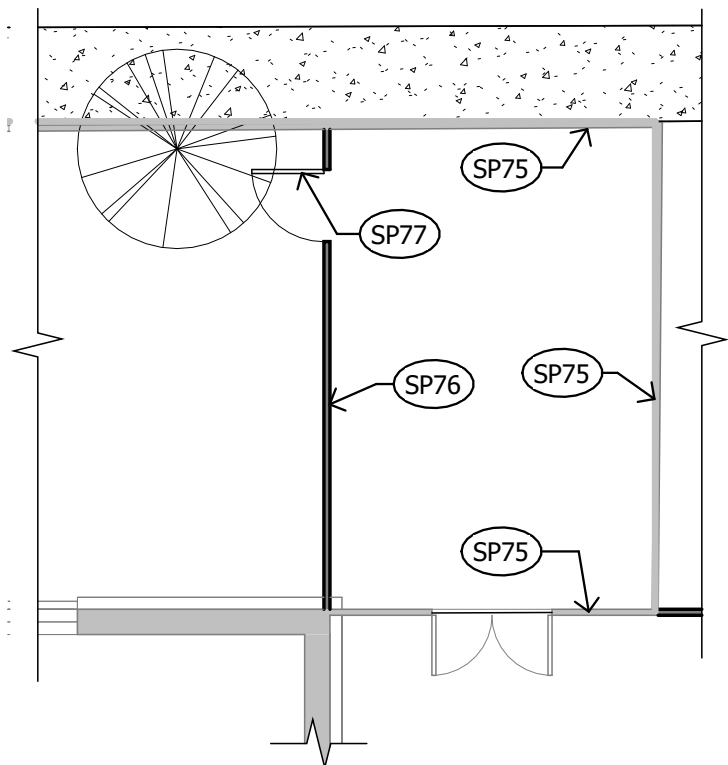
SITE KEYNOTES	
SP05	PAINT INTERNATIONAL SYMBOL OF ACCESS IN PARKING SPACE - COMPLY WITH TAS STANDARDS. (BY OWNER)
SP07	IDENTIFY ACCESSIBLE ACCESS AISLE WITH 4" WIDE PAINTED STRIPES (DIAGONAL) AT 24" O.C. PAINT TEXT "NO PARKING" IN ACCESS AISLE. COMPLY WITH TAS STANDARDS. SEE DETAIL B/ASP101. (BY OWNER)
SP10	ACCESSIBLE PARKING SIGN - SEE DETAIL 1/ASP101 (BY OWNER)
SP11	ACCESSIBLE PARKING SIGN - VAN ACCESSIBLE - SEE DETAIL 2/ASP101 (BY OWNER)
SP41	PROTECT EXISTING MECHANICAL CONDENSING UNITS AND CONCRETE PAD.
SP71	EXISTING GAS METER. PROTECT FROM DAMAGE DURING CONSTRUCTION.
SP72	EXISTING GAS SERVICE. PROTECT FROM DAMAGE DURING CONSTRUCTION.
SP73	EXISTING ELECTRICAL SERVICE. PROTECT FROM DAMAGE DURING CONSTRUCTION.
SP74	EXISTING INTERNET CONNECTION TO BUILDING A. PROTECT FROM DAMAGE DURING CONSTRUCTION.
SP75	EXISTING FENCE. PROTECT FROM DAMAGE DURING CONSTRUCTION.
SP76	NEW FENCE AND GATE TO MATCH EXISTING CEDAR FENCE (BY OWNER.)
SP77	NEW GATE - MATCH EXISTING STYLE AND HARDWARE (BY OWNER.)



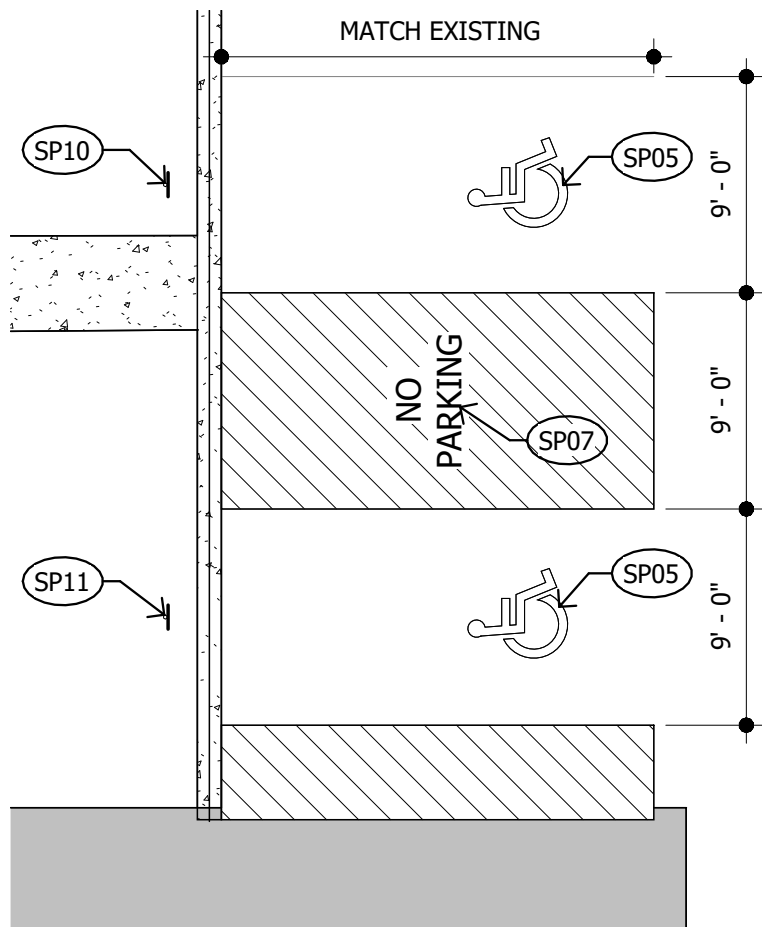
2 ADA PARKING SIGN - VAN ACCESSIBLE (BY OWNER)
1/2" = 1'-0"



1 ADA PARKING SIGN (BY OWNER)
1/2" = 1'-0"



C ENLARGED PLAN - NEW FENCE (BY OWNER)
1/8" = 1'-0"



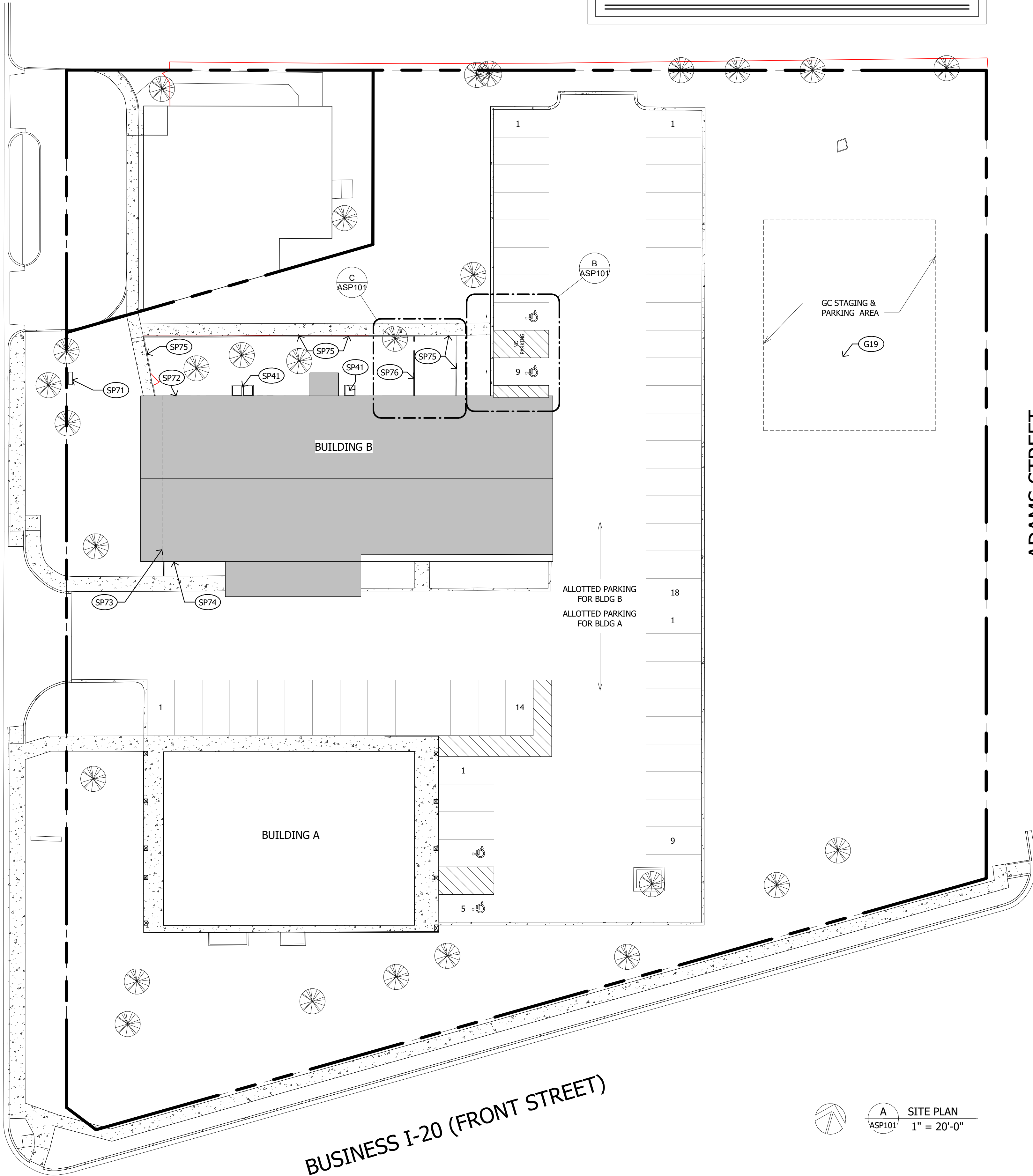
B ACCESSIBLE PARKING OWNER
1/8" = 1'-0"

PARKING CALCULATIONS:

PARKING REQUIREMENT:
1 SPACE FOR EACH 400 SQ. FT. OFFICE AREA
1 SPACE FOR EACH BED

491 SQ. FT. OFFICE AREA/400 = 2 SPACES
1 PER BED/10 BEDS = 10 SPACES

REQUIRED PARKING SPACES = 12 SPACES
TOTAL PARKING SPACES PROVIDED = 27 SPACES



ADAMS STREET

CARVER STREET

BUSINESS I-20 (FRONT STREET)

RFP 24-0607 REMODEL FOR:
PERMIACARE

400 N. CARVER STREET, BLDG B

DATE ISSUED

06/07/24

REVISIONS

SHEET NUMBER

ASP101

JOB NO.

2401A

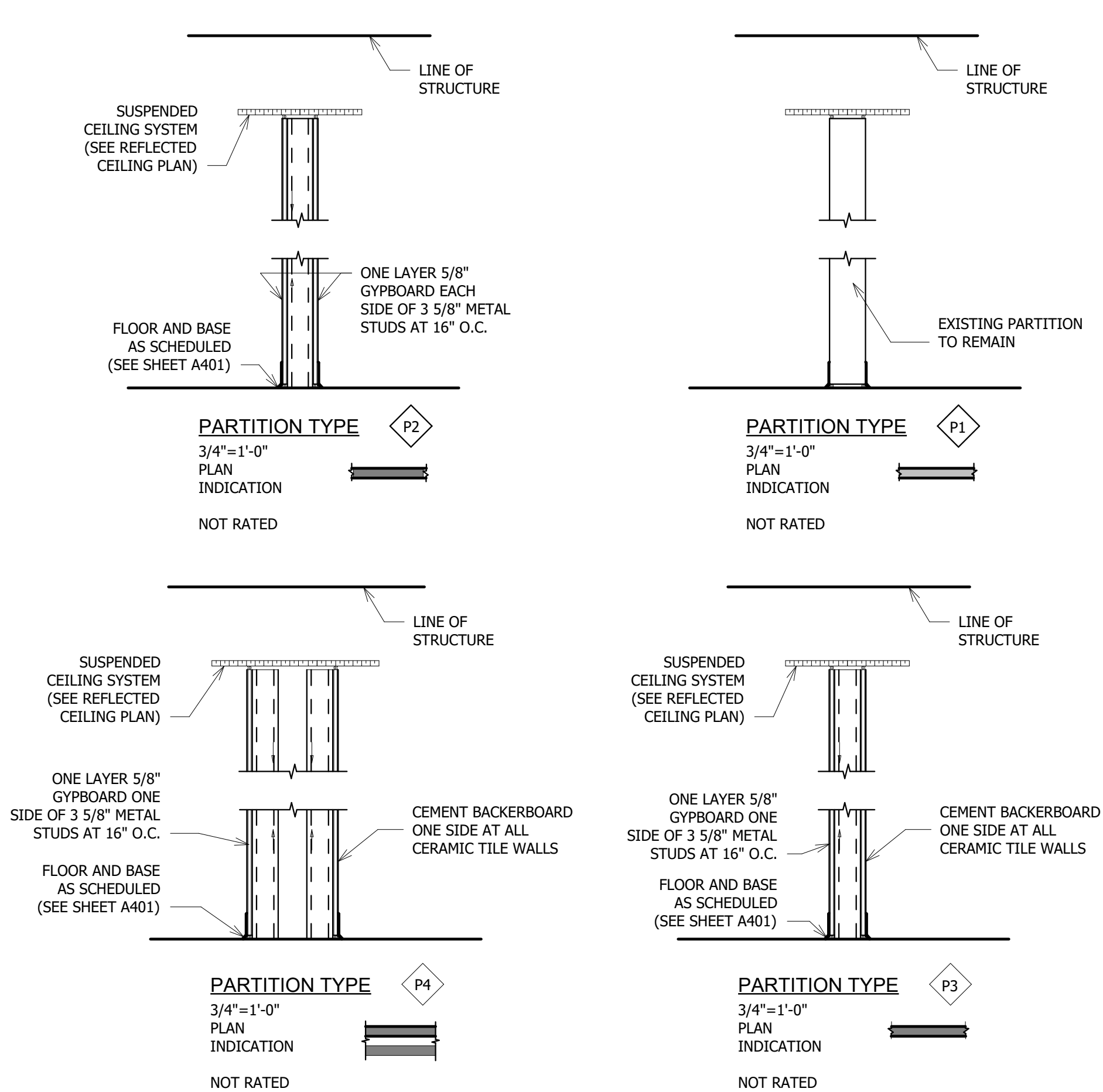
P&A

PATE ARCHITECTS

4500 W. ILLINOIS, SUITE 302
MIDLAND, TEXAS 79703

432.697.0037
www.PateArchitects.com

BID SET -
NOT FOR PERMITTING,
REGULATORY APPROVAL,
OR CONSTRUCTION
WALTER F. PATE, AIA



GENERAL KEYNOTES

- G1 ALL CONSTRUCTION TO COMPLY WITH LOCAL BUILDING CODES AND ORDINANCES AND REQUIREMENTS OF THE TEXAS ACCESSIBILITY STANDARDS (TAS).
- G2 INFORMATION SHOWN REGARDING THE EXISTING BUILDING IS CORRECT TO THE BEST KNOWLEDGE AND BELIEF OF THE ARCHITECT. MINOR DISCREPANCIES MAY BE FOUND. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REVIEWING AND FIELD VERIFYING ALL CONDITIONS AT THE JOB SITE.

THE FOLLOWING ITEMS ARE NOT INCLUDED IN THIS BID AND WILL BE COMPLETED BY OTHERS (GC TO COORDINATE WORK WITH SUB-CONTRACTORS:)

- 1.) EXISTING FENCE MODIFICATIONS AND NEW FENCED AREAS
- 2.) PAINTED STRIPING AND NEW SIGNAGE FOR ADA/TAS PARKING SPACES
- 3.) TEXTURE AND PAINTING OF ALL INTERIOR WALLS.

ARCHITECTURAL KEYNOTES

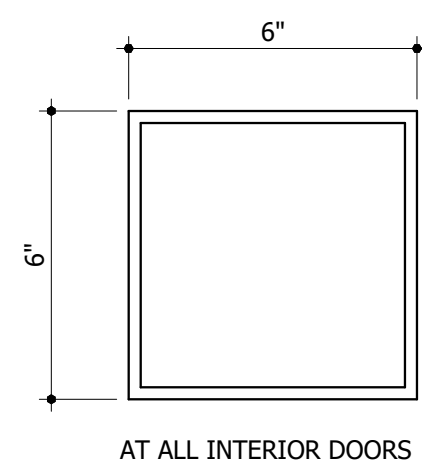
- A7 ALIGN FACE OF NEW WALL WITH THE FACE OF EXISTING WALL (TYPICAL).
- A12 ADA/TAS ACCESSIBLE ENTRANCE/EXIT.
- A50 INFILL OPENING (FROM DEMO OF DOOR OR WINDOW); MATCH ADJACENT EXTERIOR WALL CONSTRUCTION. TAPE, BED AND FLOAT INTERIOR WALL CONSTRUCTION. TEXTURE AND PAINT BY OWNER.
- A53 INSTALL SALVAGED FIRE EXTINGUISHER.
- A55 EXISTING FIRE ALARM PANEL. PROTECT FROM DAMAGE DURING CONSTRUCTION.
- A61 NEW WINDOW COVERINGS TYPICAL AT ALL EXTERIOR WINDOWS.
- A71 NEW CEDAR FENCE. MATCH EXISTING. (BY OWNER)
- A72 EXISTING FENCE. PROTECT FROM DAMAGE DURING CONSTRUCTION.
- A73 NEW DOOR AND FRAME. SEE DOOR SCHEDULE. MEET TAS REQUIREMENTS.
- A74 NEW GATE - MATCH EXISTING CEDAR FENCE. (BY OWNER)
- A75 EXISTING GATE - MEET TAS REQUIREMENTS (BY OWNER.)

FIRE PROTECTION SPRINKLER SYSTEM KEYNOTES

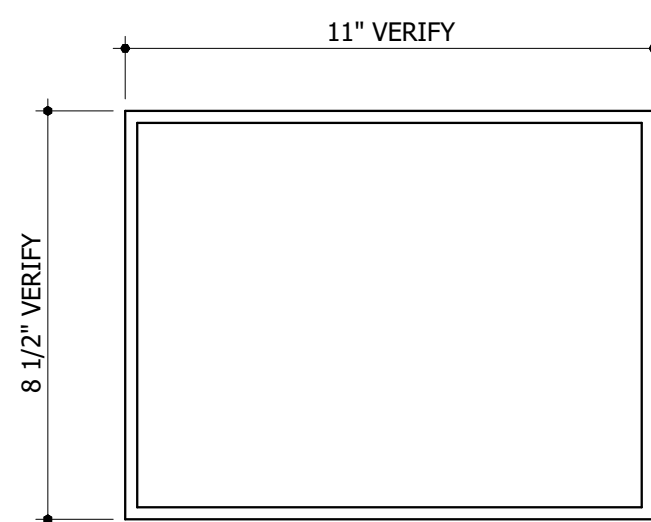
- FP1 BUILDING IS PROTECTED BY AN AUTOMATIC FIRE PROTECTION SPRINKLER SYSTEM. MODIFY THE EXISTING SYSTEM TO ACCOMMODATE THE REVISED FLOOR PLAN CONFIGURATION.
- FP2 ALL NEW SPRINKLER HEADS TO COMPLY WITH NFPA 13. MATCH EXISTING HEADS.
- FP3 SUBMIT SHOP DRAWINGS OF SYSTEM MODIFICATIONS FOR APPROVAL.

ALL INTERIOR SIGNAGE EQUAL TO INDEPENDENT SPECIALTY SIGNAGE:

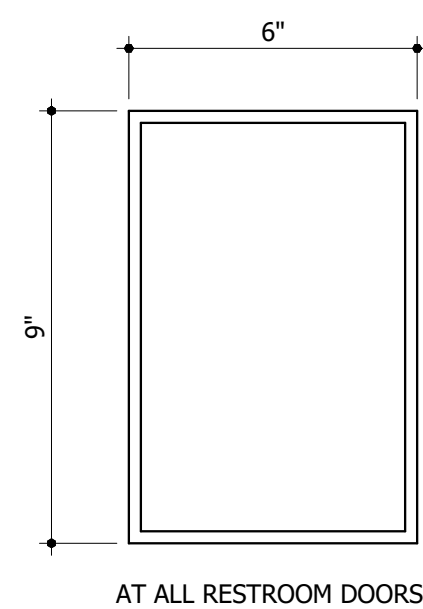
GEMINI DUETS ACRYLIC
SQUARE CORNERS
STRAIGHT EDGES
METAL FRAME
MAGNETIC MOUNTING



AT ALL INTERIOR DOORS



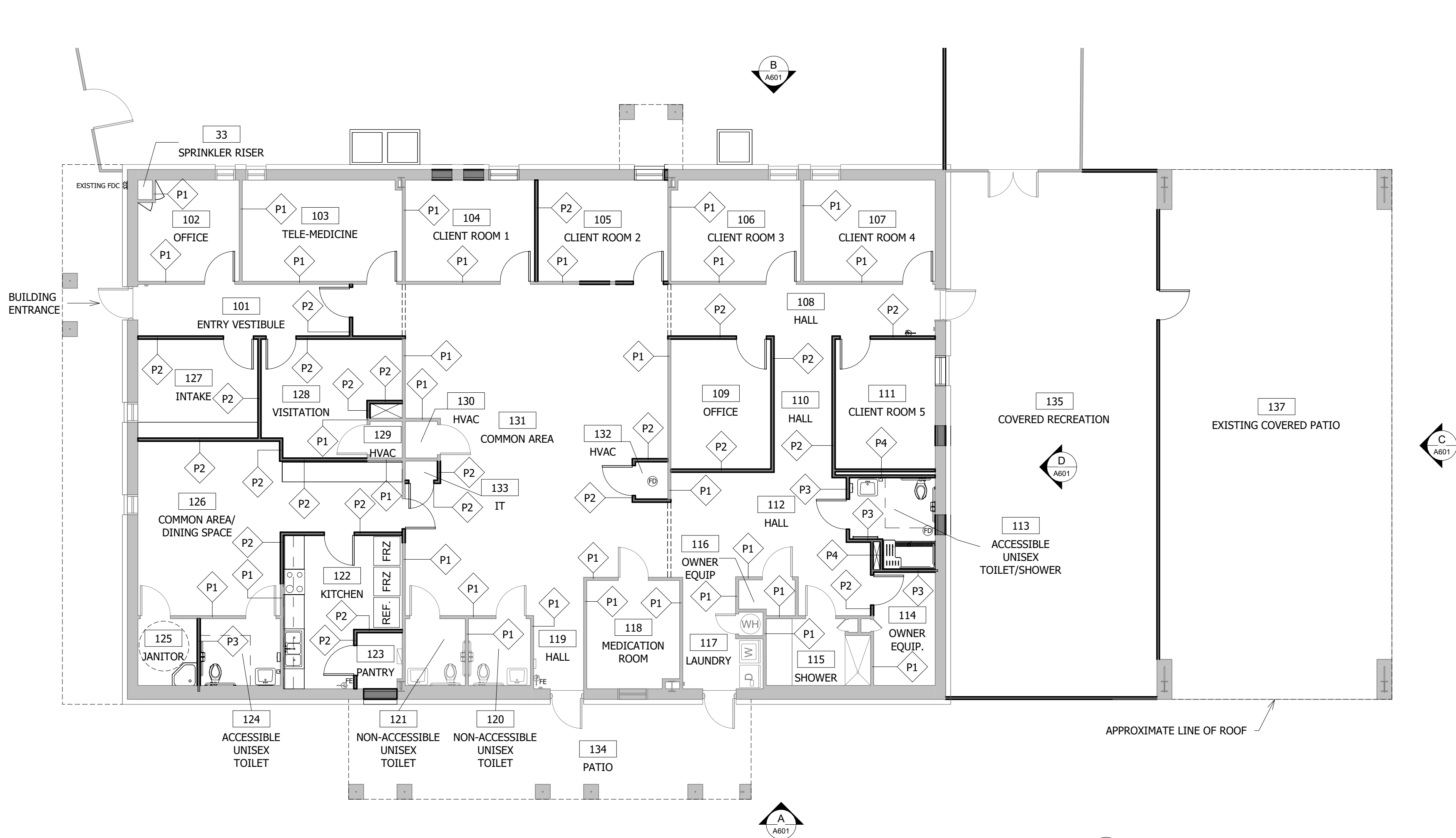
EXIT SIGNAGE AT HALLWAY



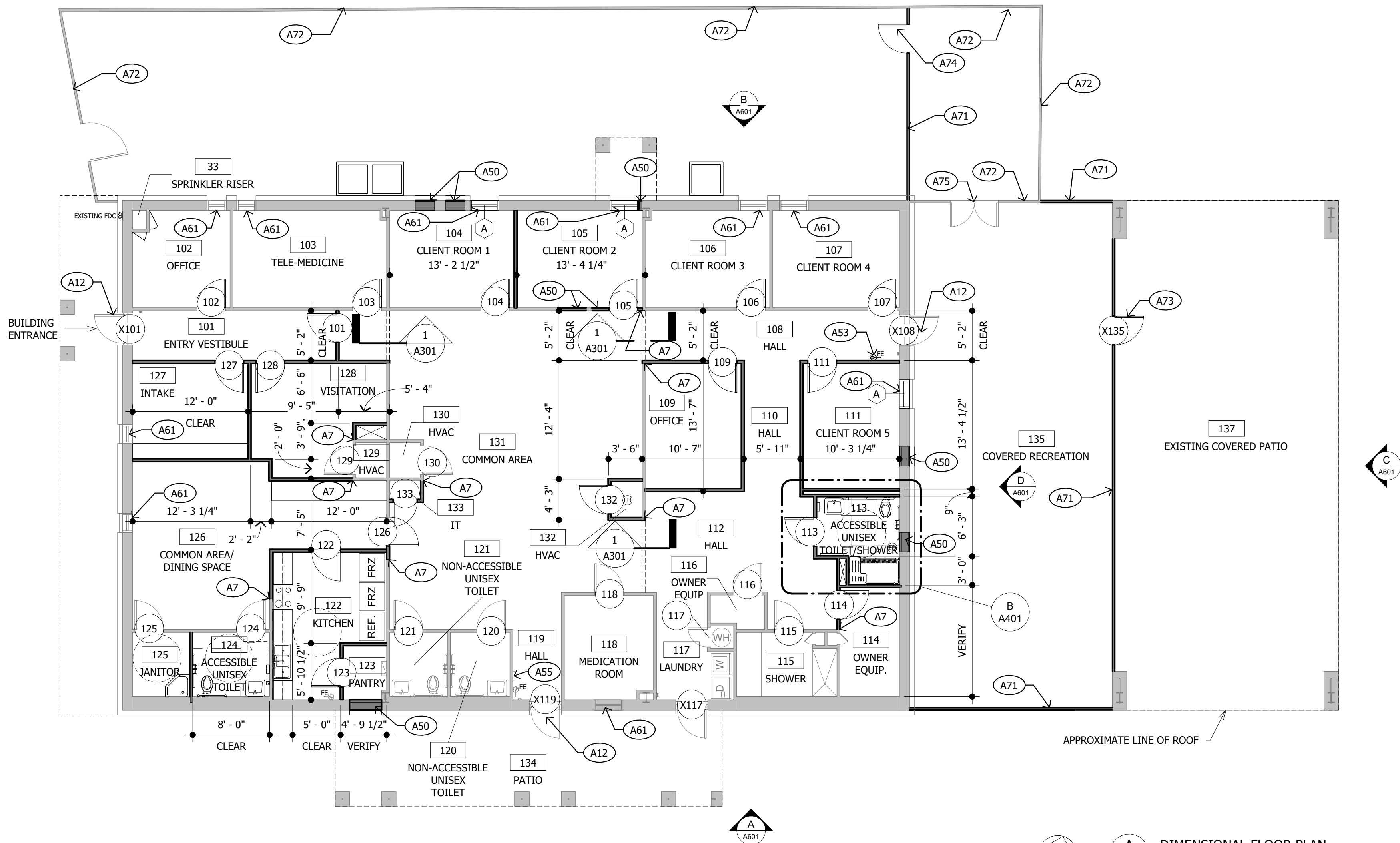
AT ALL RESTROOM DOORS

1
A201 INTERIOR SIGNAGE
3" = 1'-0"

VERIFY QUANTITIES
VERIFY FINAL LOCATIONS
SIGNAGE LAYOUT TO BE PROVIDED












B
A201 FLOOR PLAN - PARTITION TYPES
1/8" = 1'-0"





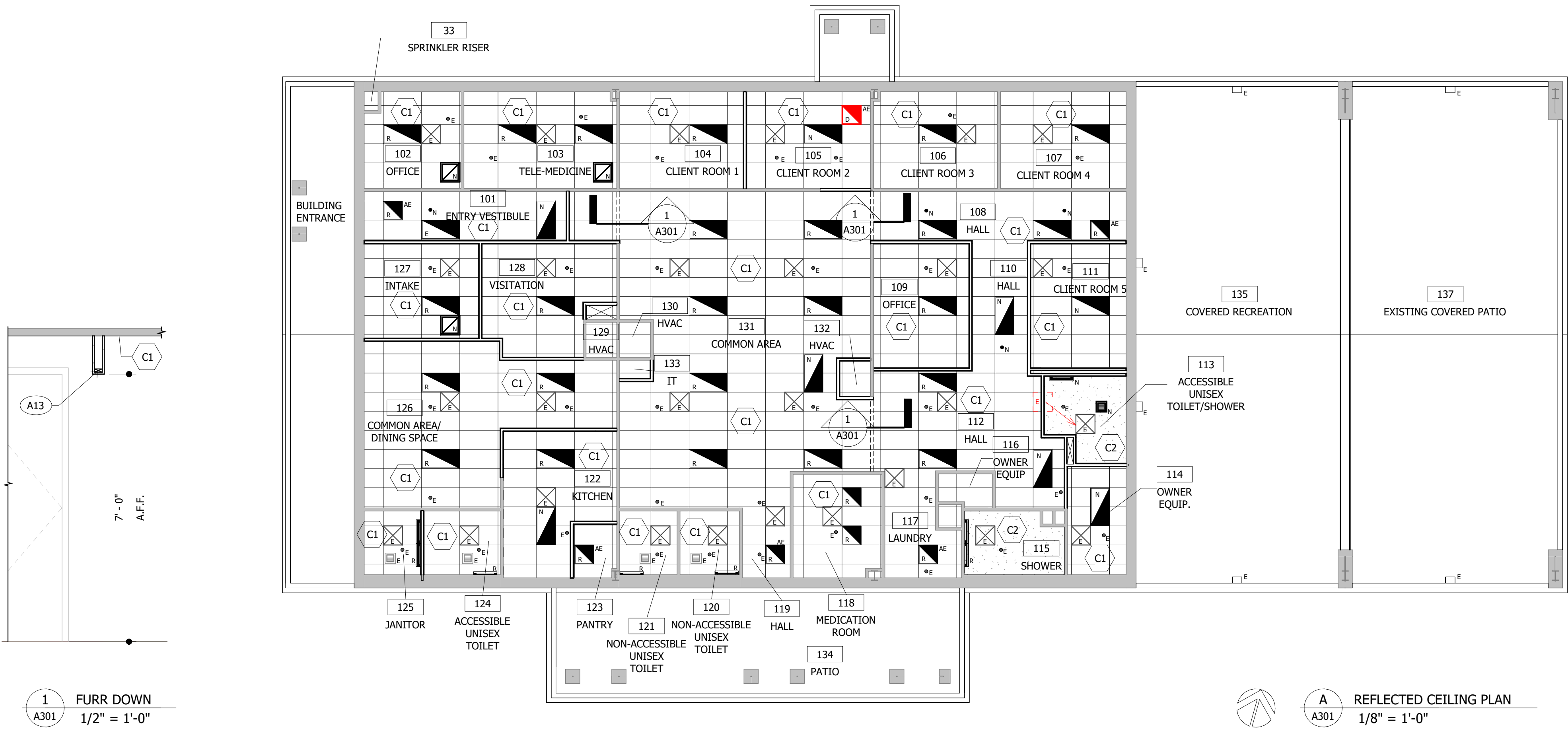
A
A201 DIMENSIONAL FLOOR PLAN
1/8" = 1'-0"

ARCHITECTURAL KEYNOTES	
A13	PROVIDE WOOD BLOCKING AS REQUIRED FOR ALL WALL MOUNTED MILLWORK.

REFLECTED CEILING KEYNOTES	
RC0	GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFYING EXISTING CONDITIONS.
RC5	RE-USE EXISTING CEILING SUSPENSION SYSTEM AND CEILING TILE WHERE POSSIBLE. CUT SUSPENSION SYSTEM, TIE OFF, REWORK AND REPAIR CEILING SYSTEM AS REQUIRED FOR NEW CONSTRUCTION.
RC11	REPLACE EXISTING CEILING GRID AND TILE WHICH HAS BEEN DAMAGED OR STAINED.
RC13	REPLACE EXISTING 2 X 2 AND 2 X 4 FLUORESCENT LAY-IN LIGHT FIXTURE AND LENS WITH NEW 2 X 2 AND 2 X 4 LED FIXTURES.

-  2 X 2 LED EMERGENCY FIXTURE
-  2 X 2 LED FIXTURE
-  2 X 4 LED FIXTURE
-  AIR SUPPLY DIFFUSER
-  AIR SUPPLY DIFFUSER
-  EXHAUST FAN
-  FIRE SPRINKLER HEAD
-  VANITY LIGHT BAR
-  EXTERIOR WALL SCONCE

- REFLECTED CEILING PLAN NOTES:**
-  EXISTING SUSPENDED CEILING TO REMAIN AS IS. REPLACE MISSING, BROKEN OR STAINED CEILING TILES.
-  REPLACE EXISTING SUSPENDED CEILING WITH WATER RESISTANT GYPBOARD.
- D = DEMO EXISTING FIXTURE
- E = EXISTING FIXTURE
- N = NEW FIXTURE
- R = NEW FIXTURE AT EXISTING LOCATION



RFP 24-0607 REMODEL FOR:
PERMIACARE

400 N. CARVER STREET, BLDG B

MIDLAND, TEXAS

4500 W. ILLINOIS, SUITE 302
MIDLAND, TEXAS 79703



PATE ARCHITECTS

432.697.0037
www.PateArchitects.com

DATE ISSUED
06/07/24

REVISIONS

SHEET NUMBER

A301

JOB NO.


2401A

BID SET -
NOT FOR PERMITTING,
REGULATORY APPROVAL,
OR CONSTRUCTION
WALTER F. PATE, AIA

**BID SET -
NOT FOR PERMITTING,
REGULATORY APPROVAL,
OR CONSTRUCTION**

4500 W. ILLINOIS, SUITE 302
MIDLAND, TEXAS 79703

432.697.0037
www.PateArchitects.com



P&A
PATE ARCHITECTS

MIDLAND, TEXAS

**RFP 24-0607 REMODEL FOR:
PERMIACARE**

400 N. CARVER STREET, BLDG B

DATE ISSUED

REVISIONS

SHEET NUMBER

A401

JOB NO.

2401A

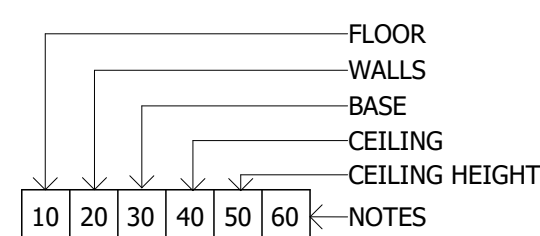
ARCHITECTURAL KEYNOTES

- A7 ALIGN FACE OF NEW WALL WITH THE FACE OF EXISTING WALL (TYPICAL).
A81 CERAMIC TILE FULL HEIGHT ON ALL WALLS.
A82 SCHLUTER TRIM AT OUTSIDE CORNER. SHAPE AND FINISH AS SELECTED.
A84 LAVATORY - AS SCHEDULED. INSULATE EXPOSED HOT WATER SUPPLY AND DRAIN PIPING.
A85 ACCESSIBLE SHOWER PAN BARRIER FREE ARCHITECTURALS INC. MODEL P26333A1FTB.

TOILET ACCESSORIES

- | | |
|------|--|
| TA0 | PROVIDE WOOD BLOCKING FOR ALL WALL MOUNTED ACCESSORIES. |
| TA02 | TOILET TISSUE DISPENSER: MATCH BUILDING STANDARD |
| TA03 | PAPER TOWEL DISPENSER: MATCH BUILDING STANDARD |
| TA05 | SOAP DISPENSER: MATCH BUILDING STANDARD |
| TA06 | 42" GRAB BAR: BRADLEY 812-001-42. |
| TA07 | 36" GRAB BAR: BRADLEY 812-001-36. |
| TA08 | TOWELS BARS: MATCH EXISTING |
| TA10 | MIRROR UNIT: BOBRICK B-165 (18X36) |
| TA11 | STRAIGHT SHOWER CURTAIN ROD WITH "BREAK AWAY" FLANGE. |
| TA12 | HOOKLESS SHOWER CURTAIN. |
| TA13 | 24" SHOWER GRAB BAR |
| TA14 | 36" SHOWER GRAB BAR |
| TA15 | SHOWER CONTROLS, FAUCET AND HAND-HELD SPRAY. MEET TAS/ADA STANDARDS. |
| TA18 | FOLDING SHOWER SEAT. MEET TAS/ADA STANDARDS. |

FINISH SCHEDULE



FLOORS:

19. EXISTING TILE TO REMAIN. PATCH AND MATCH AS REQUIRED.

WALLS:

21. GYPBOARD - TAPE, BED & FLOAT ONLY
(TEXTURE AND PAINT BY OWNER)
22. NEW PAINT EXISTING WALLS (BY OWNER)
23. NEW CERAMIC TILE FULL HEIGHT
29. EXISTING FINISH TO REMAIN

BASE:

31. MATCH EXISTING BASE
33 NEW CERAMIC TILE
39. EXISTING BASE TO REMAIN

CEILING:

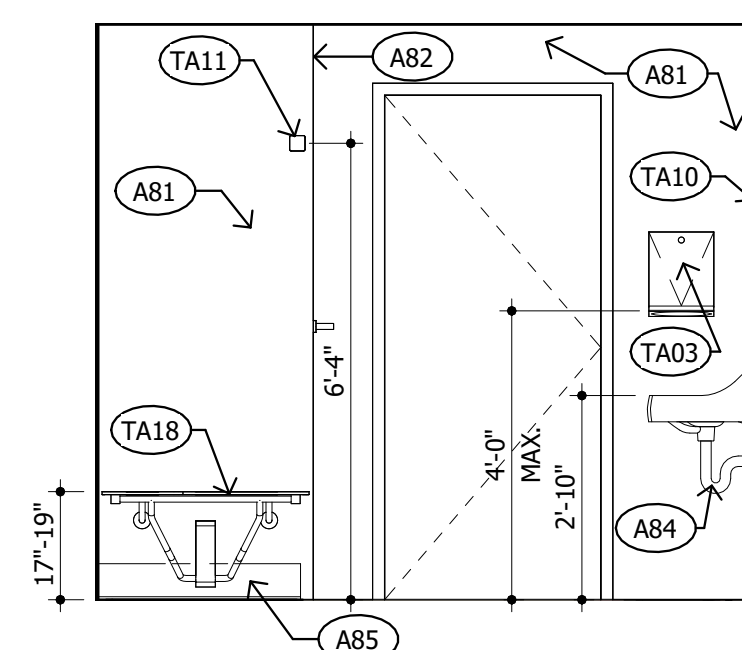
41. WATER RESISTANT GYPBOARD
49. EXISTING CEILING TO REMAIN

CEILING HEIGHT:

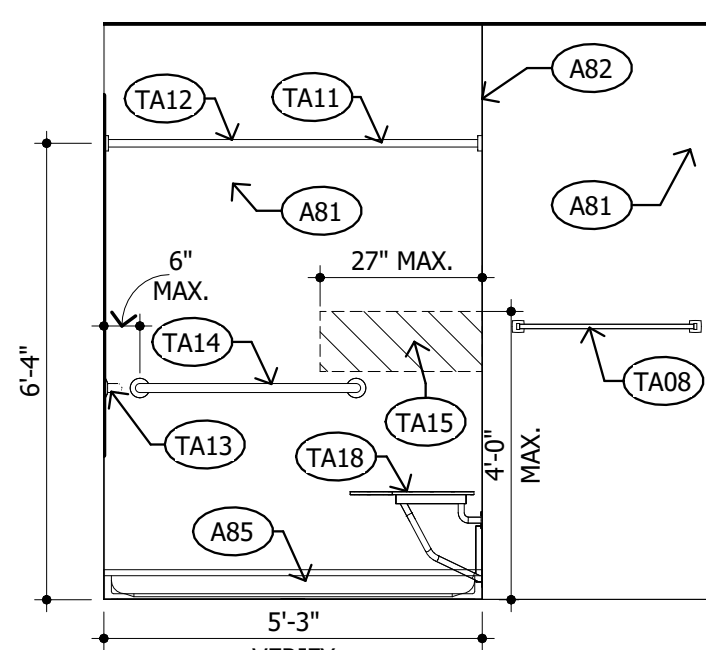
51. MATCH EXISTING CEILING HEIGHT
59. EXISTING CEILING TO REMAIN

FINISH NOTES:

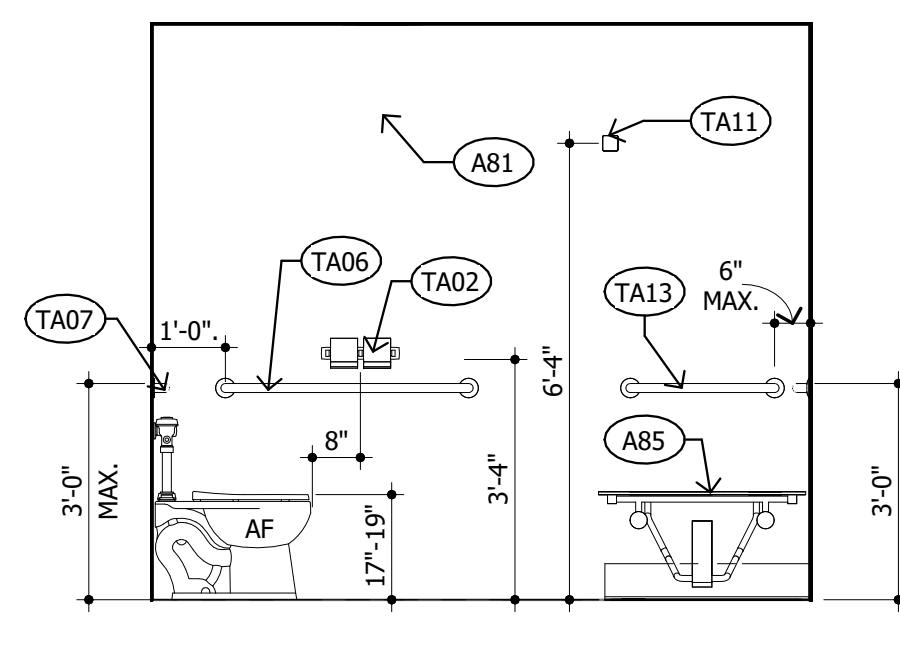
61. NO WORK THIS AREA



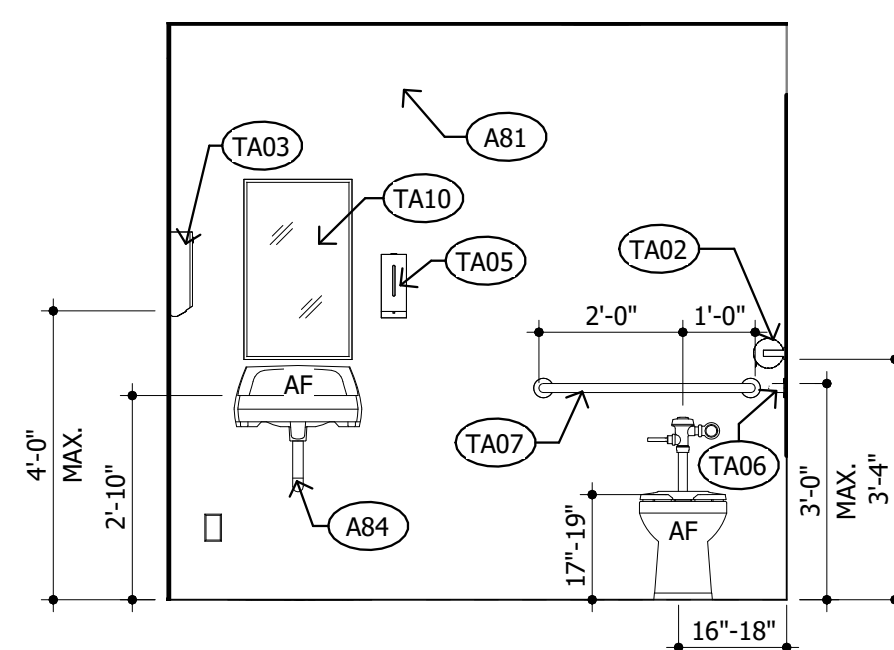
G A401	ACCESSIBLE TOILET/SHOWER 3/8" = 1'-0"
-----------	--



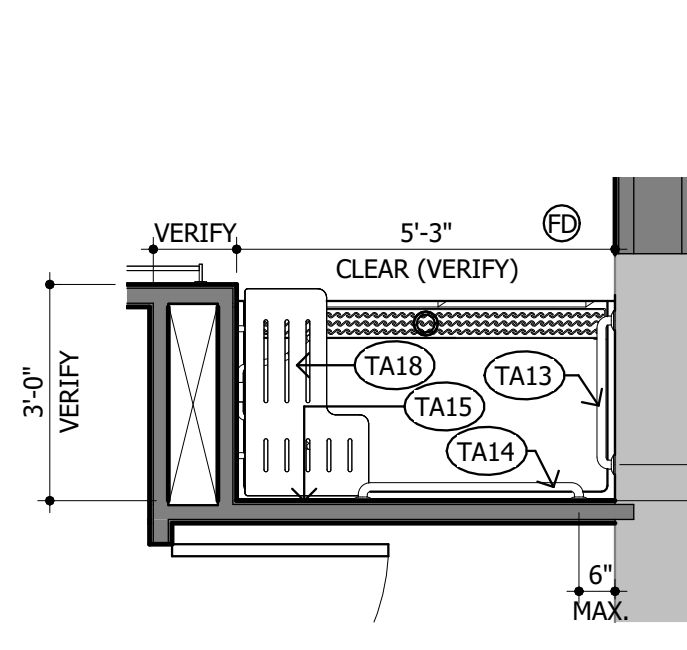
F	ACCESSIBLE SHOWER
A401	3/8" = 1'-0"



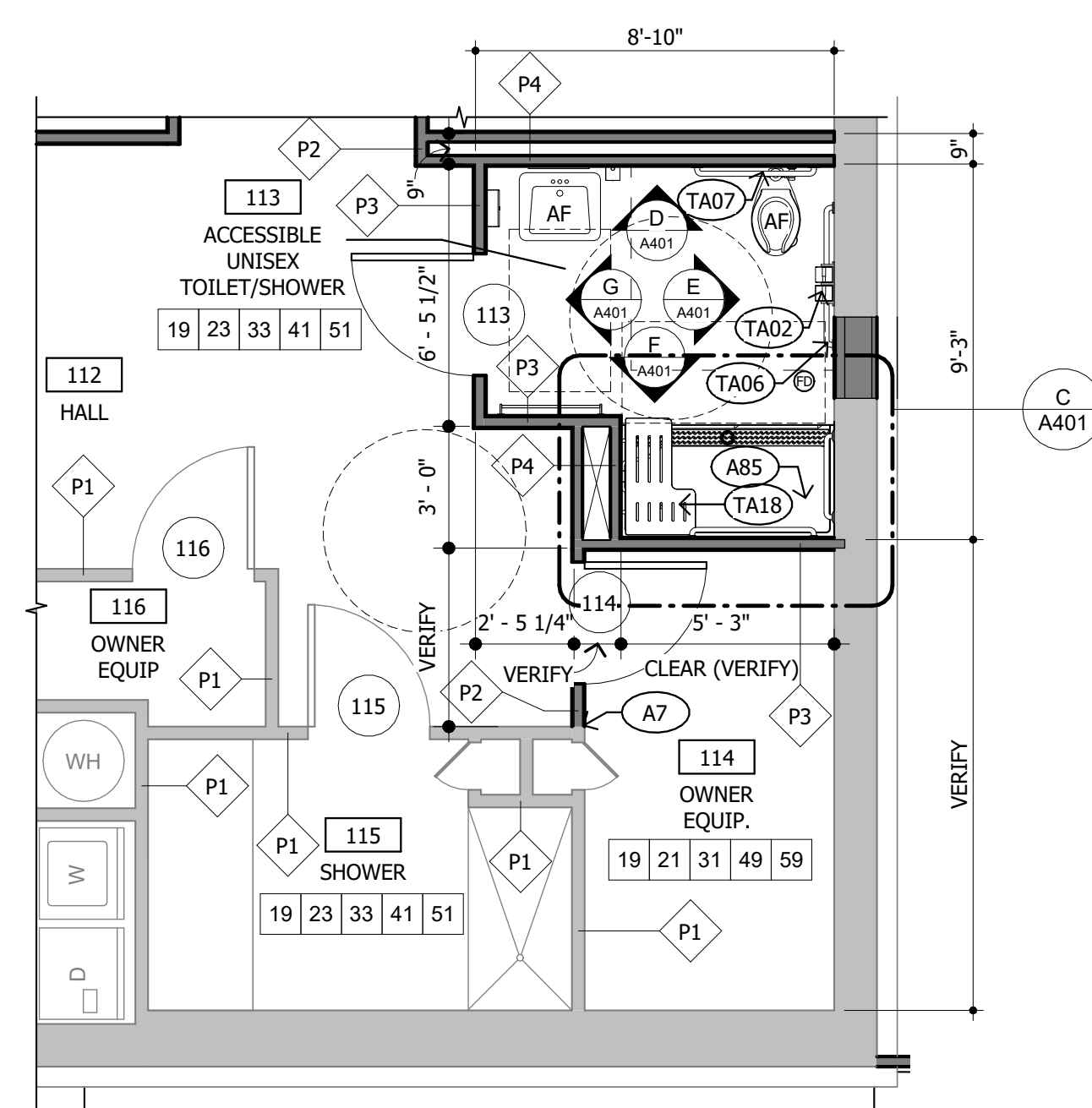
E A401	ACCESSIBLE TOILET/SHOWER
	3/8" = 1'-0"





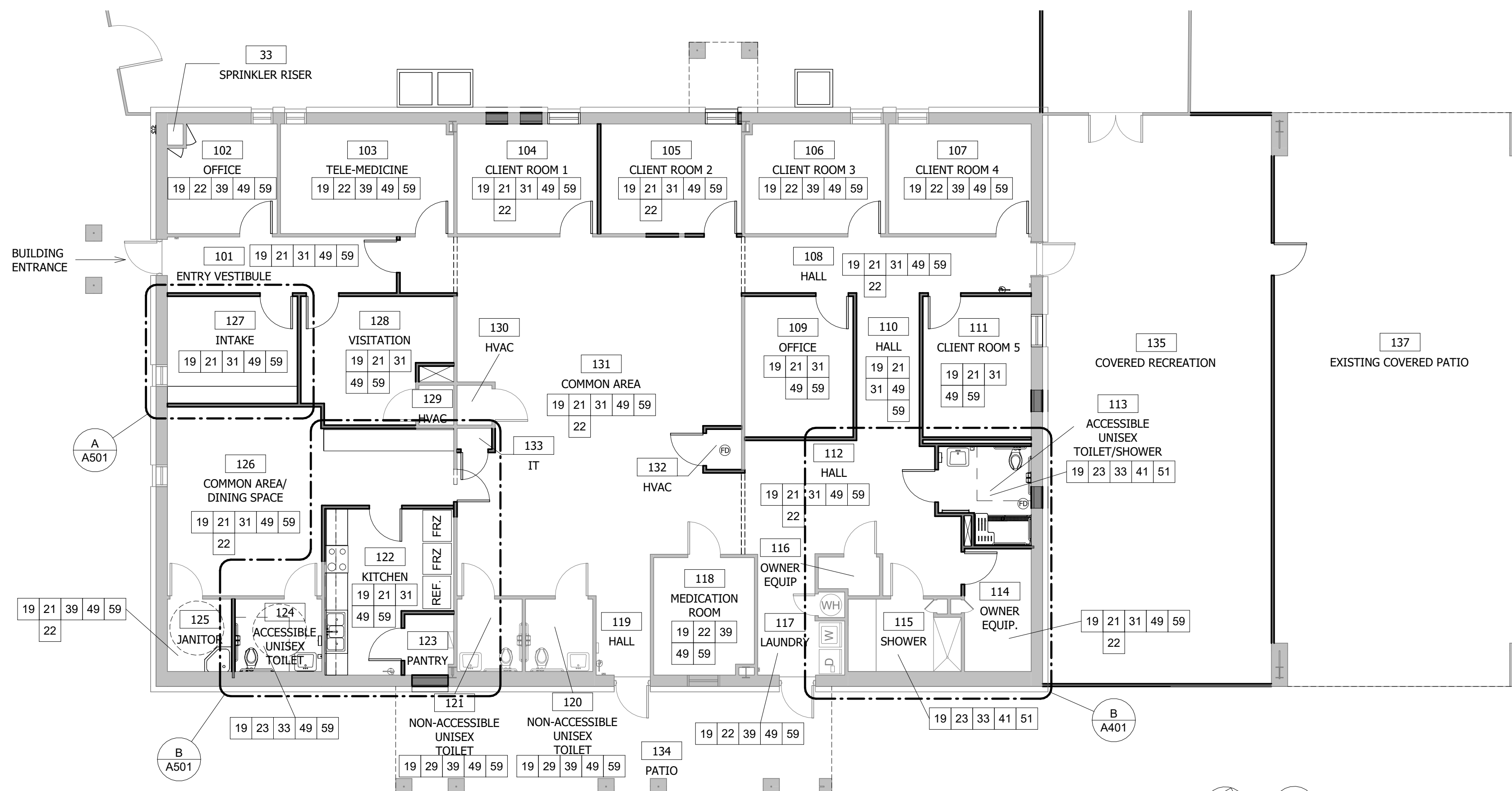
D A401	ACCESSIBLE TOILET/SHOWER 3/8" = 1'-0"
-----------	--



C ACCESSIBLE SHOWER
A401 $3/8" = 1'-0"$



  ENLARGED PLAN - TOILET/SHOWER 114
1/4" = 1'-0"

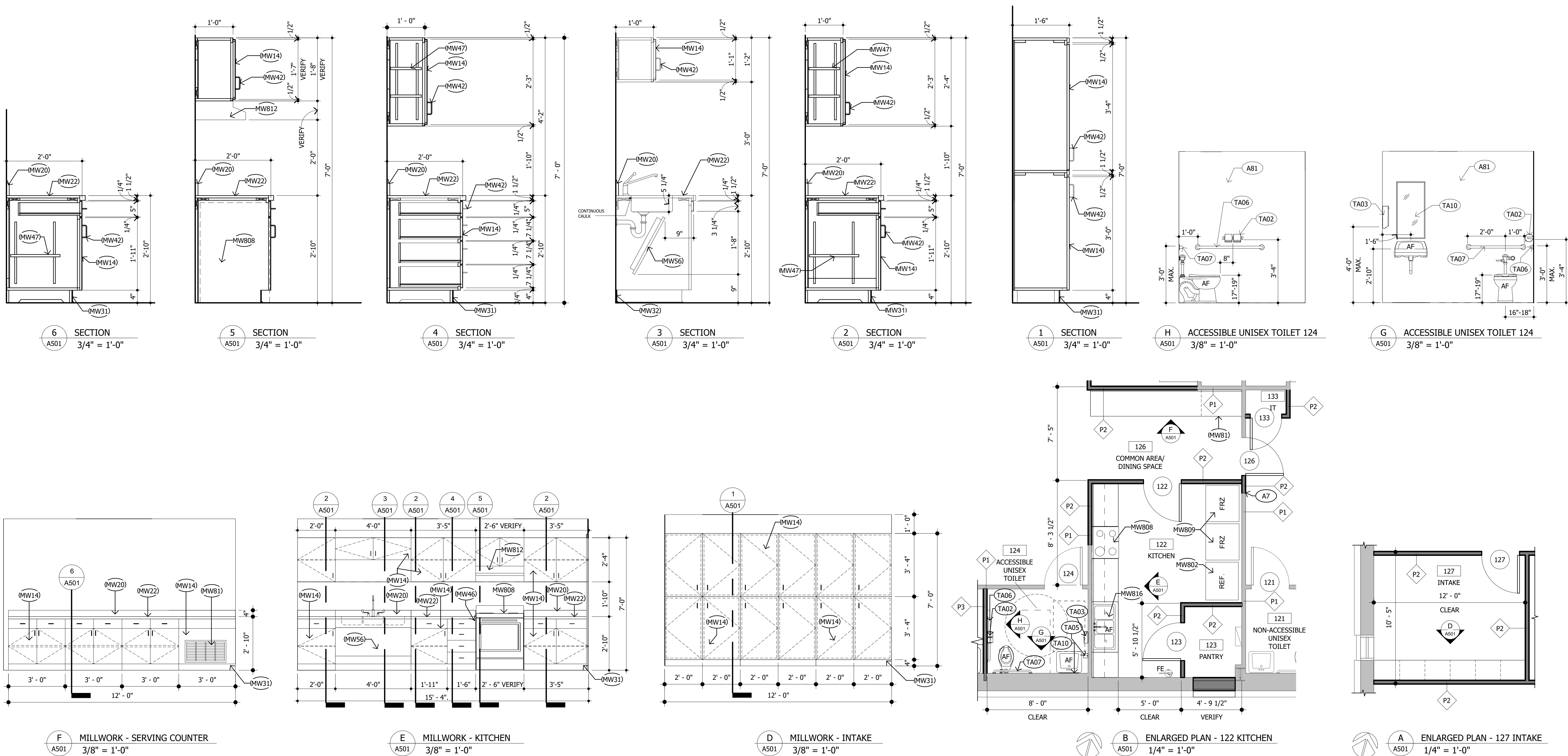


A FINISH FLOOR PLAN
A401 1/8" = 1'-0"

A7	ALIGN FACE OF NEW WALL WITH THE FACE OF EXISTING WALL (TYPICAL).
A13	PROVIDE WOOD BLOCKING AS REQUIRED FOR ALL WALL MOUNTED MILLWORK.
A81	CERAMIC TILE FULL HEIGHT ON ALL WALLS.

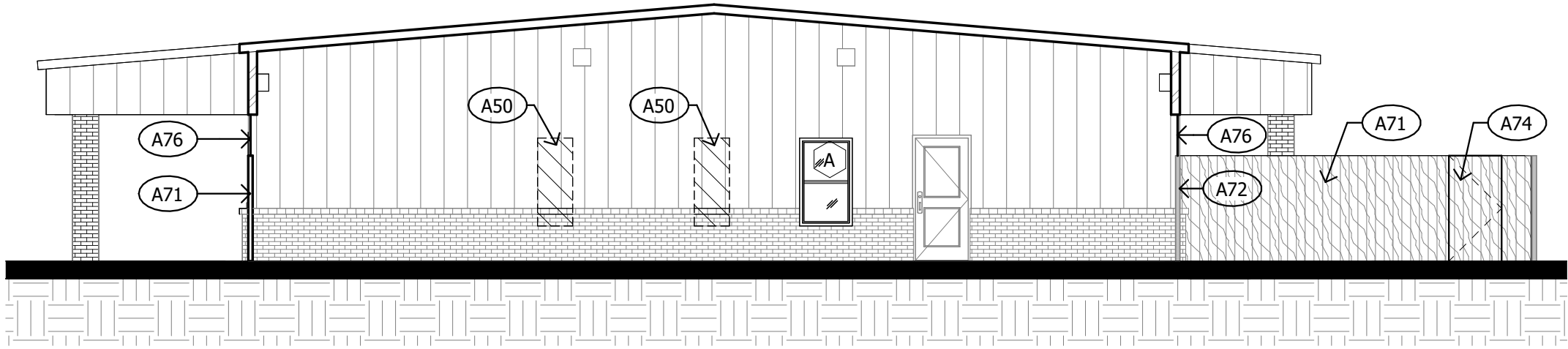
TA0	PROVIDE WOOD BLOCKING FOR ALL WALL MOUNTED ACCESSORIES.
TA02	TOILET TISSUE DISPENSER: MATCH BUILDING STANDARD
TA03	PAPER TOWEL DISPENSER: MATCH BUILDING STANDARD
TA05	SOAP DISPENSER: MATCH BUILDING STANDARD
TA06	42" GRAB BAR: BRADLEY 812-001-42.
TA07	36" GRAB BAR: BRADLEY 812-001-36.
TA10	MIRROR UNIT: BOBRICK B-165 (18X36)

MW01	VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO FABRICATION.
MW02	SUBMIT MILLWORK SHOP DRAWINGS & MATERIAL SAMPLES AS SELECTED.
MW03	ALL MILLWORK MATERIALS, HARDWARE, AND FINISHES, ETC. TO BE SELECTED AND APPROVED BY ARCHITECT.
MW14	PLASTIC LAMINATE FINISH OVER PLYWOOD SUBSTRATE; MATCH EXISTING.
MW20	SET BACK SPLASH AND SIDE SPLASH IN BEAD OF SILICONE SEALANT. PRESS SPLASH FIRMLY IN PLACE, FORCE EXCESS SEALANT OUT OF THE JOINT. AFTER SEALANT SETS CLEAN OFF EXCESS.
MW22	SOLID SURFACE COUNTER TOP & SPLASH (ABOUT 1/2" THICK) OVER 3/4" PLYWOOD SUBSTRATE.
MW31	TOE SPACE WITH BASE AS SPECIFIED.
MW32	SCHEDULED BASE.
MW41	HINGES: CONCEALED, SELF-CLOSING WITH BUMPERS, 1-PAIR AT DOORS UP TO 30" HIGH; 1-1/2 PAIR AT DOORS GREATER THAN 30" HIGH.
MW42	PULLS: 1 PER DRAWER AND 1 PER DOOR.
MW44	DRAWER SLIDES: 1-PAIR, FULL EXTENSION, GUIDES PER DRAWER; SELF CLOSING.
MW46	LOCKING DRAWER
MW47	ADJUSTABLE SHELVES; FLUSH MOUNTED K&V 255 VERTICAL STANDARDS WITH #256 CLIPS (OR APPROVED EQUAL).
MW56	REMOVABLE KNEE SPACE PANEL: 3/4" HARDWOOD PLYWOOD; SPECIES AND FINISH PLASTIC LAMINATE. ATTACH USING 1X2 WOOD CLEATS WITH SCREWS AND FINISH WASHERS (2 PER END).
MW81	RETURN AIR GRILLE.
MW802	REFRIGERATOR BY OWNER.
MW808	RANGE BY OWNER.
MW809	FREEZER BY OWNER.
MW812	TYPE II "DUCTLESS" EXHAUST HOOD - VERIFY SIZE.
MW816	PROVIDE THREE COMPARTMENT SINK AND GOOSENECK FAUCET.

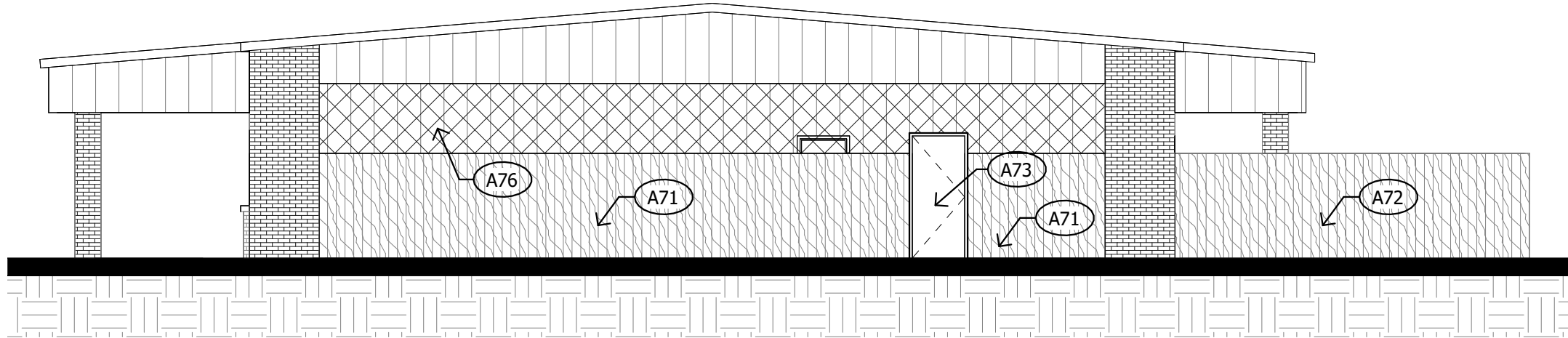


ARCHITECTURAL KEYNOTES

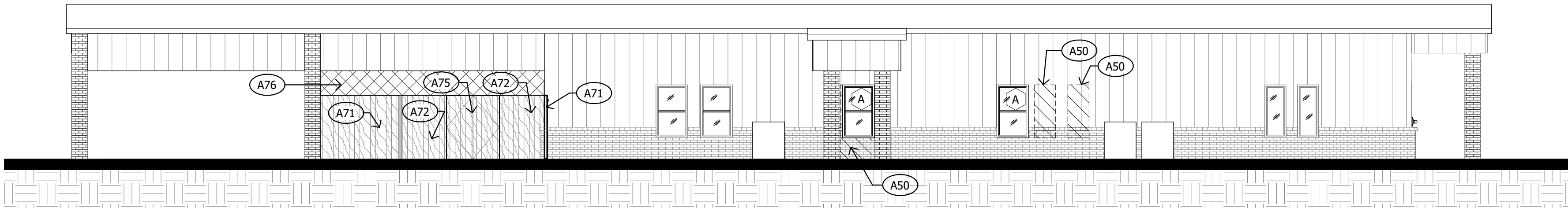
- A50 INFILL OPENING (FROM DEMO OF DOOR OR WINDOW); MATCH ADJACENT EXTERIOR WALL CONSTRUCTION. TAPE, BED AND FLOAT INTERIOR WALL CONSTRUCTION. TEXTURE AND PAINT BY OWNER.
- A71 NEW CEDAR FENCE. MATCH EXISTING. (BY OWNER)
- A72 EXISTING FENCE. PROTECT FROM DAMAGE DURING CONSTRUCTION.
- A73 NEW DOOR AND FRAME. SEE DOOR SCHEDULE. MEET TAS REQUIREMENTS.
- A74 NEW GATE - MATCH EXISTING CEDAR FENCE. (BY OWNER)
- A75 EXISTING GATE - MEET TAS REQUIREMENTS (BY OWNER.)
- A76 6 X 6 10/10 W.W.M. CUT AND ATTACH AS REQUIRED (BY OWNER.)



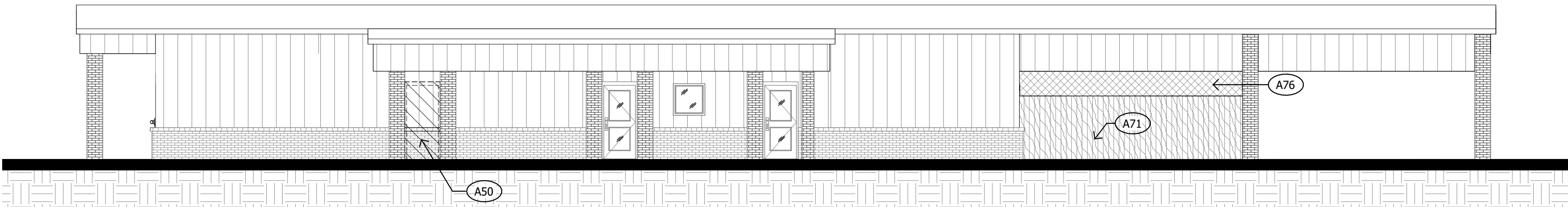
D EAST ELEVATION
A601 1/8" = 1'-0"



C EAST ELEVATION WITH FENCE
A601 1/8" = 1'-0"



B NORTH ELEVATION
A601 1/8" = 1'-0"

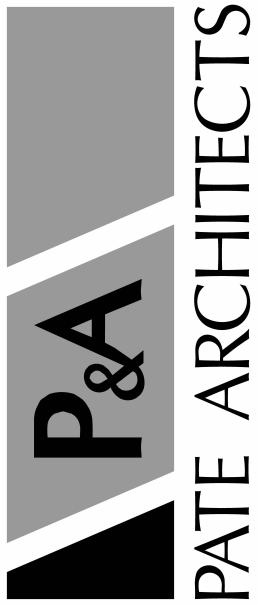


A SOUTH ELEVATION
A601 1/8" = 1'-0"

BID SET -
NOT FOR PERMITTING,
REGULATORY APPROVAL,
OR CONSTRUCTION
WALTER F. PATE, AIA

4500 W. ILLINOIS, SUITE 302
MIDLAND, TEXAS 79703

432.697.0037
www.PateArchitects.com



RFP 24-0607 REMODEL FOR:
PERMIACARE

400 N. CARVER STREET, BLDG B

MIDLAND, TEXAS

DATE ISSUED
06/07/24

REVISIONS

SHEET NUMBER

A601

JOB NO.

2401A

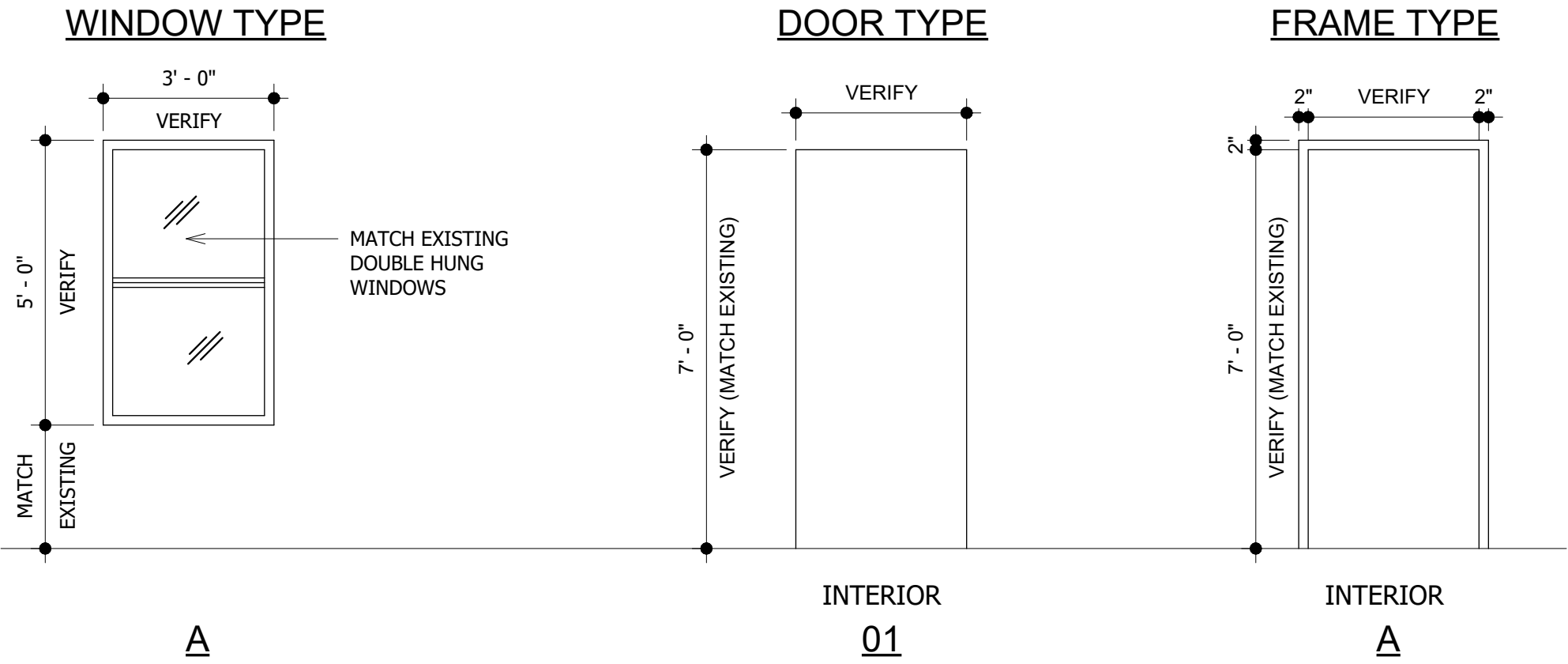
DOOR SCHEDULE																				
MARK	EXISTING DOOR	EXISTING FRAME	NEW DOOR	NEW FRAME	SIZE	RATING	FINISH	HARDWARE											NOTES	
								LOCKSET	LATCHSET	ANTI-LIGATURE LOCKSET	ANTI-LIGATURE LATCHSET	ANTI-LIGATURE PRIVACY SET	ELECTRIC STRIKE	SPRING LOADED HINGES	CLOSER	1-1/2 PAIR BUTTS	STOP	PANIC DEVICE		
101			X	X	MATCH EXISTING		CLEAR (NOTE 2)			X			X	X		X	X	X	NOTE 1	
102		X	X		MATCH EXISTING	20 MIN.	CLEAR (NOTE 2)	X						X		X	X			
103		X	X		MATCH EXISTING	20 MIN.	CLEAR (NOTE 2)			X				X		X	X			
104		X	X		MATCH EXISTING	20 MIN.	CLEAR (NOTE 2)				X			X		X	X			
105			X	X	MATCH EXISTING	20 MIN.	CLEAR (NOTE 2)				X			X		X	X			
106		X	X		MATCH EXISTING	20 MIN.	CLEAR (NOTE 2)				X			X		X	X			
107		X	X		MATCH EXISTING	20 MIN.	CLEAR (NOTE 2)				X			X		X	X			
109			X	X	MATCH EXISTING	20 MIN.	CLEAR (NOTE 2)				X			X		X	X			
111			X	X	MATCH EXISTING	20 MIN.	CLEAR (NOTE 2)				X			X		X	X			
113			X	X	MATCH EXISTING		CLEAR (NOTE 2)					X		X		X	X			
114			X	X	MATCH EXISTING		CLEAR (NOTE 2)			X				X		X	X			
115	X	X					NOTE 2					X		X		X	X			
116	X	X					NOTE 2			X				X		X	X			
117	X	X					NOTE 2			X				X		X	X			
118	X	X					NOTE 2			X			X	X		X	X		NOTE 1	
120	X	X					NOTE 2					X		X		X	X			
121	X	X					NOTE 2					X		X		X	X			
122			X	X	MATCH EXISTING		CLEAR (NOTE 2)			X			X	X		X	X		NOTE 1	
123			X	X	MATCH EXISTING		CLEAR (NOTE 2)			X				X		X	X			
124	X	X					NOTE 2					X		X		X	X			
125	X	X					NOTE 2			X				X		X	X			
126			X	X	MATCH EXISTING		CLEAR (NOTE 2)			X			X	X		X	X		NOTE 1	
127			X	X	MATCH EXISTING	20 MIN.	CLEAR (NOTE 2)	X							X	X	X			
128			X	X	MATCH EXISTING	20 MIN.	CLEAR (NOTE 2)	X							X	X	X			
129	X	X					NOTE 2	X											EXISTING HINGES TO REMAIN	
130	X	X					NOTE 2			X				X		X	X			
132	X	X					NOTE 2			X				X		X	X		NOTE 3	
133			X	X	NOTE 4		CLEAR (NOTE 2)			X				X		X	X			
X101	X	X					NOTE 2						X						NOTE 1, EXISTING HARDWARE TO REMAIN AS IS	
X108	X	X					NOTE 2						X						NOTE 1, EXISTING HARDWARE TO REMAIN AS IS	
X117	X	X					NOTE 2												EXISTING HARDWARE TO REMAIN AS IS	
X119	X	X					NOTE 2												EXISTING HARDWARE TO REMAIN AS IS	
X135			X	X	MATCH EXISTING		CLEAR (NOTE 2)			X			X	X		X	X	X	INSTALLED AT FENCE (PAINT TO MATCH BY OWNER)	

NOTE 1: GC MODIFY FRAME AS REQUIRED FOR ELECTRIC STRIKE. CARD READER AND ELECTRIC STRIKE PROVIDED & INSTALLED BY OWNER.

NOTE 2: PAINTED FINISH BY OWNER.

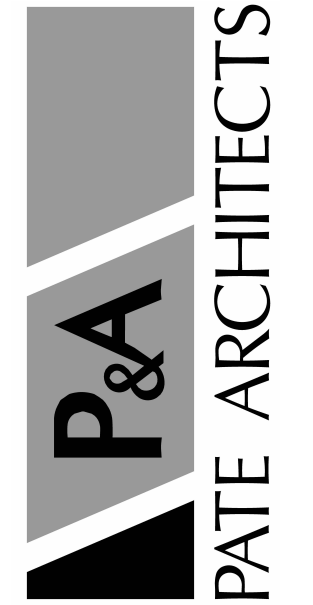
NOTE 3: REUSE SALVAGED DOOR & FRAME FROM HVAC CLOSET #3.

NOTE 4: IT CLOSET DOOR 133 MATCH EXISTING DOOR AND FRAME HEIGHT. DOOR WIDTH 2'-6".



BID SET -
NOT FOR PERMITTING,
REGULATORY APPROVAL,
OR CONSTRUCTION
WALTER F. PATE, AIA

4500 W. ILLINOIS, SUITE 302
MIDLAND, TEXAS 79703
432.697.0037
www.PateArchitects.com



RFP 24-0607 REMODEL FOR:
PERMIACARE
400 N. CARVER STREET, BLDG B
MIDLAND, TEXAS

DATE ISSUED
06/07/24

REVISIONS

SHEET NUMBER

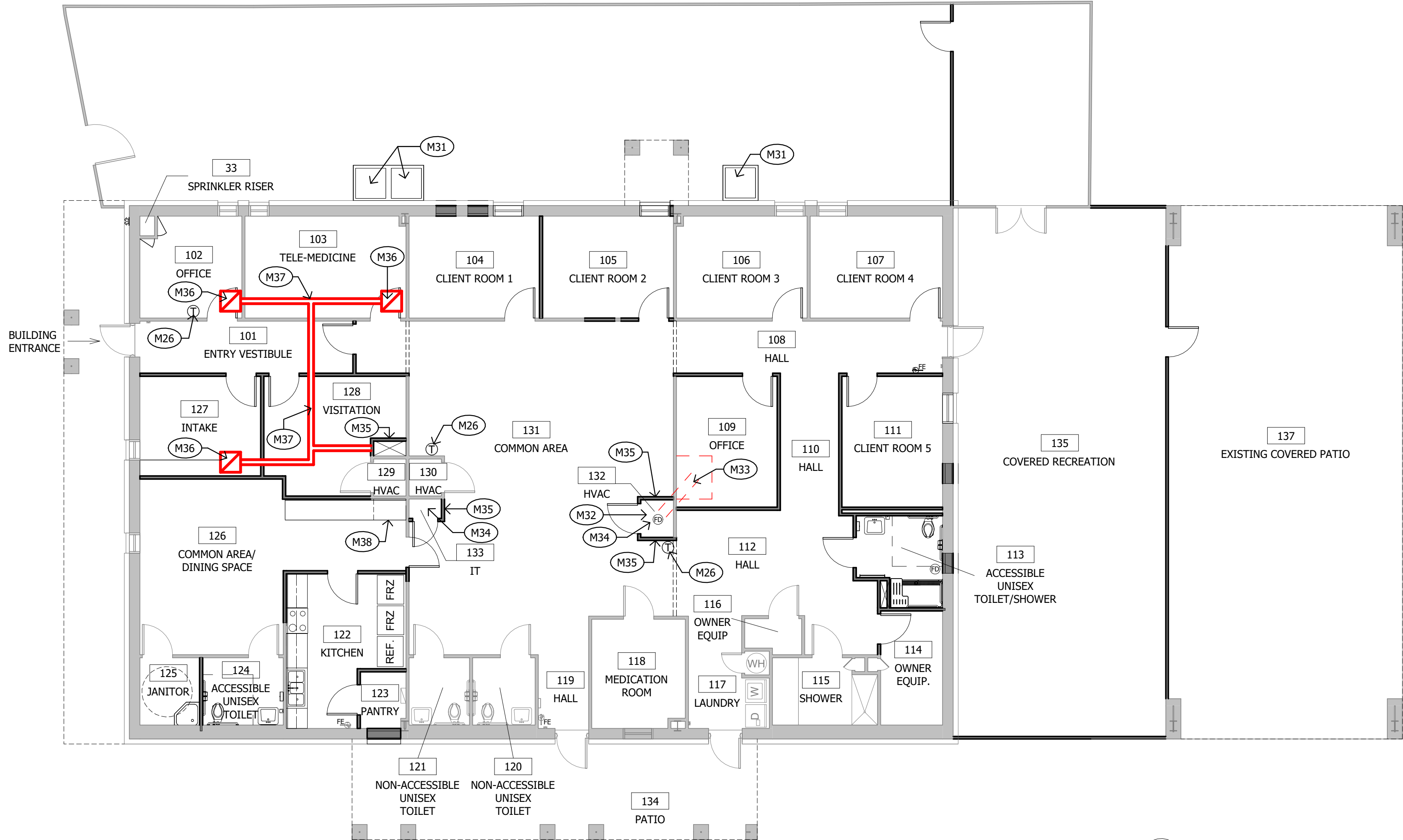
A801
JOB NO. 2401A

NOTE: MECHANICAL FLOOR PLAN IS SCHEMATIC - LICENSED MECHANICAL CONTRACTORS TO INSTALL PER ALL GOVERNING CODES.

NOTE: THIS PROJECT QUALIFIES FOR AN EXEMPTION TO CHAPTER C408.2 OF THE 2015 IECC AS THE HVAC AND SERVICE WATER HEATING SYSTEM CAPACITIES ARE BELOW THE MINIMUM REQUIREMENTS.

MECHANICAL KEYNOTES

- M1 ALL MECHANICAL CONSTRUCTION (HVAC, PLUMBING, ETC.) TO COMPLY WITH LOCAL BUILDING CODES AND ORDINANCES.
M3 VERIFY ALL EXISTING CONDITIONS.
M4 PROVIDE DESIGN LAYOUT FOR ALL MODIFICATIONS TO THE EXISTING HVAC SYSTEM FOR THE ARCHITECT AND BUILDING OWNER'S APPROVAL.
M5 REUSE EXISTING HVAC SYSTEM DUCT, REGISTERS, GRILLES, AND THERMOSTATS, ETC., OR IF NEW MATERIALS ARE REQUIRED THEN MATCH EXISTING.
M6 WHEN COMPLETE, BALANCE HVAC SYSTEM.
M11 COORDINATE EXACT LOCATIONS OF CEILING DIFFUSERS AND GRILLES WITH ELECTRICAL/REFLECTED CEILING PLAN.
M12 COORDINATE EXACT ROUTING OF DUCTWORK ABOVE CEILING WITH STRUCTURAL FRAMING MEMBERS. VERIFY SIZES AND LOCATION OF FRAMING MEMBERS.
M26 VERIFY LOCATION FOR THERMOSTATS.
M31 EXISTING CONDENSATION UNIT.
M32 RELOCATE SALVAGED HVAC UNIT. PROVIDE PLATFORM (MATCH EXISTING.)
M33 TIE VENTS FROM NEW HVAC LOCATION INTO EXISTING VENTS.
M34 PROVIDE PLATFORM FOR IT CLOSET. MATCH PLATFORM IN EXISTING HVAC CLOSETS.
M35 WALL MOUNTED RETURN AIR GRILLE. MATCH EXISTING.
M36 RETURN AIR GRILLE. REFER TO REFLECTED CEILING PLAN.
M37 PROVIDE DUCTWORK FOR RETURN AIR.
M38 RETURN AIR GRILLE MOUNTED IN MILLWORK. MATCH EXISTING.



A
M101
1/8" = 1'-0"

MECHANICAL FLOOR PLAN

RFP 24-0607 REMODEL FOR:
PERMIACARE

400 N. CARVER STREET, BLDG B

MIDLAND, TEXAS

4500 W. ILLINOIS, SUITE 302
MIDLAND, TEXAS 79703



PATE ARCHITECTS

432.697.0037
www.PateArchitects.com

BID SET -
NOT FOR PERMITTING,
REGULATORY APPROVAL,
OR CONSTRUCTION
WALTER F. PATE, AIA

DATE ISSUED

06/07/24

REVISIONS

SHEET NUMBER

M101

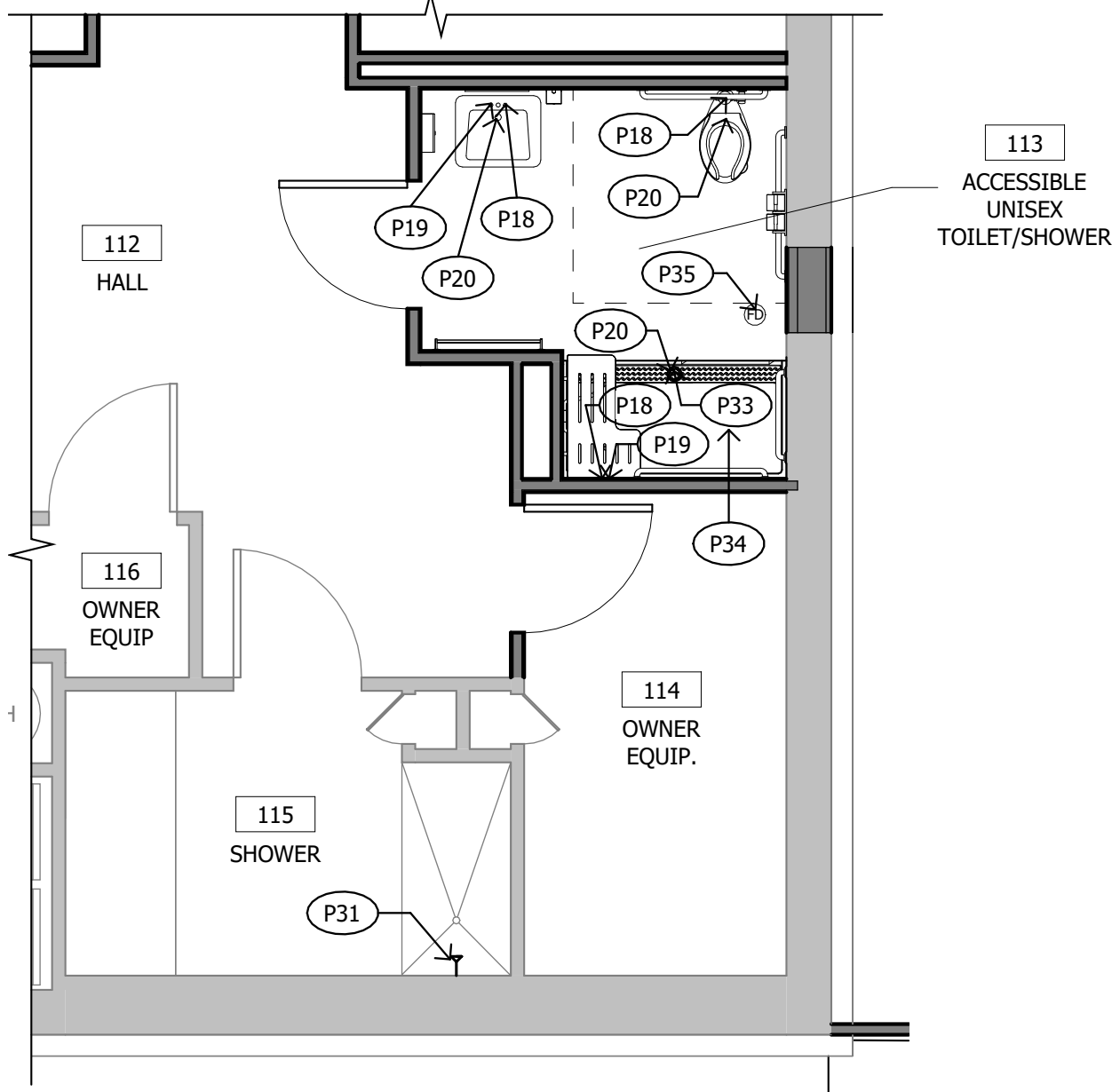
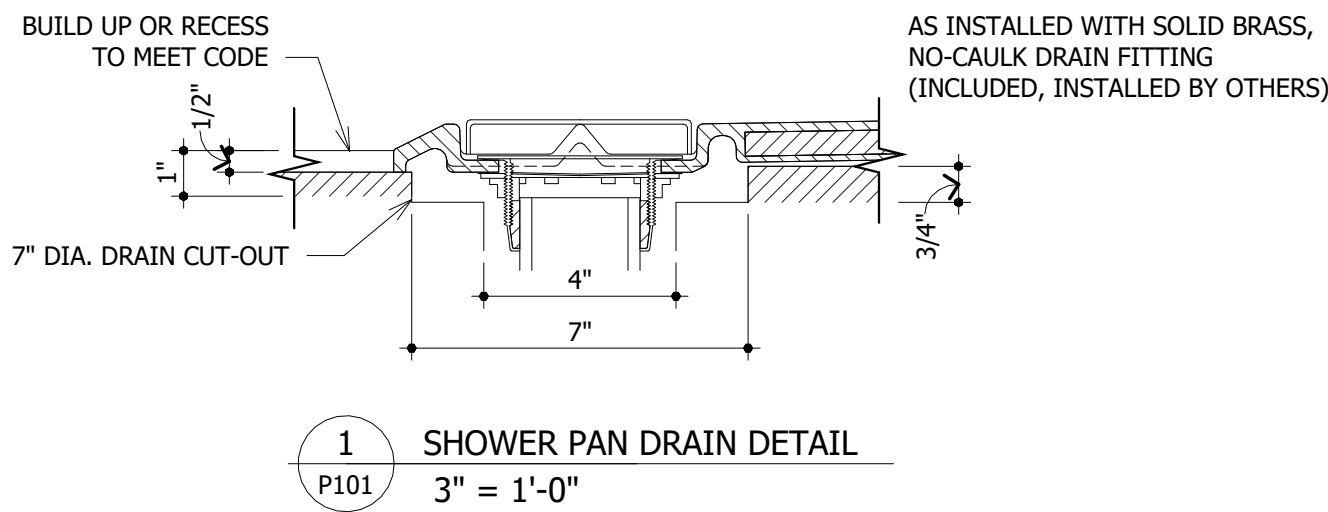
JOB NO.

2401A

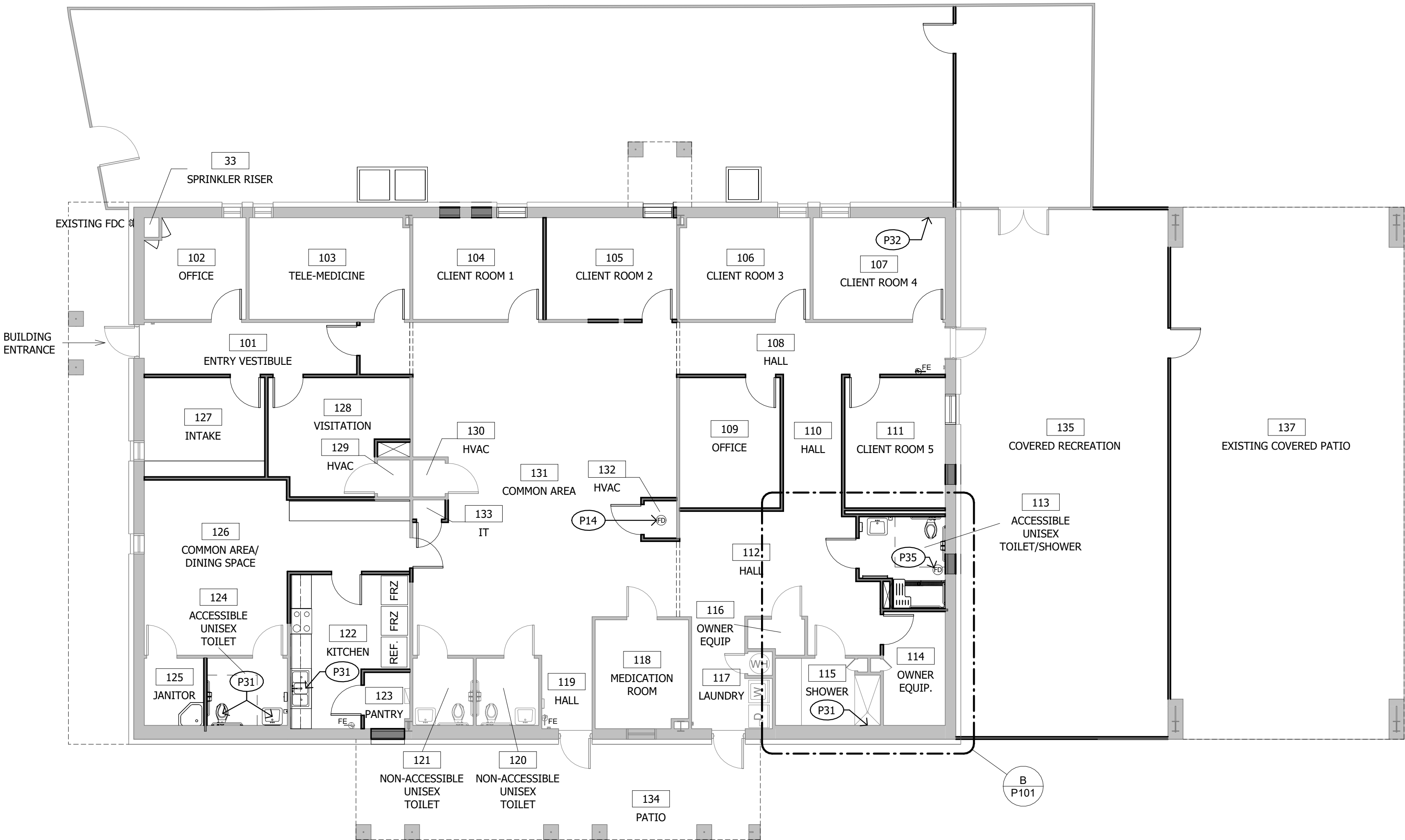
NOTE: THIS PROJECT QUALIFIES FOR AN EXEMPTION TO CHAPTER C408.2 OF THE 2015 IECC AS THE HVAC AND SERVICE WATER HEATING SYSTEM CAPACITIES ARE BELOW THE MINIMUM REQUIREMENTS.

THE ENTIRE FACILITY TO BE FULLY SPRINKLERED IN FULL COMPLIANCE WITH NFPA 13. MODIFICATIONS TO THE EXISTING FIRE PROTECTION SYSTEM TO BE INSTALLED BY AN EXPERIENCED FIRM REGULARLY ENGAGED IN THE INSTALLATION AND DESIGN OF AUTOMATIC SPRINKLER SYSTEMS. CONTRACTOR TO PROVIDE A "CERTIFICATE OF REGISTRATION" OR PROOF OF QUALIFICATIONS AS REQUIRED BY THE STATE OR THE FIRE MARSHAL. SUBMIT THE FIRE PROTECTION DESIGN AND LAYOUT MODIFICATIONS TO ARCHITECT AND FIRE MARSHAL FOR APPROVAL. THE ENGINEER MAY REJECT ANY PROPOSED INSTALLER WHO CANNOT SHOW EVIDENCE OF SUCH QUALIFICATIONS.














P01	ALL PLUMBING TO COMPLY WITH THE INTERNATIONAL PLUMBING CODE, NFPA 90, AND ALL LOCAL, STATE, AND FEDERAL ORDINANCES, CODES, LAWS, AND REGULATIONS.
P03	PLUMBING SUB VERIFY ALL PIPING SIZES & SUBMIT PIPING DESIGN LAYOUT, FIXTURE & TRIM SUBMITTALS FOR ARCHITECT'S APPROVAL.
P04	CONTRACTOR VERIFY LOCATION AND SIZE OF EXISTING UTILITY SERVICES.
P05	PROVIDE AND INSTALL PLUMBING VALVES, LINES, FIXTURES, FAUCETS, TRIM, ETC. AS INDICATED AND REQUIRED. MATCH EXISTING.
P06	CONTRACTOR ENSURE ALL PLUMBING INSTALLATIONS COMPLY WITH LOCAL BACKFLOW REQUIREMENTS. CONTRACTOR PROVIDE AND INSTALL ANY BACKFLOW DEVICES NOT SHOWN ON THESE DRAWINGS AS REQUIRED.
P08	PROVIDE PLUMBING FIXTURES SCHEDULED & APPROVED BY ARCHITECT AT LOCATIONS INDICATED.
P10	WHERE MULTIPLE PLUMBING FIXTURES SHARE A COMMON WALL, PROVIDE BRANCH PIPING TO EACH FIXTURE. PLUMBING SUB PROVIDE PIPING SIZE AS REQUIRED BY PLUMBING FIXTURES & EQUIPMENT.
P11	EXTEND HW LOOP DOWN IN WALLS AS REQUIRED. PROVIDE HW BRANCHES TO THE FAUCETS WITHIN 24" OF HW LOOP.
P12	PROVIDE CW, HW, HWR PIPING ABOVE CEILING BUT BELOW INSULATION IN ATTIC SPACE. LOCATE CUT-OFF VALVES FOR EASY FUTURE SERVICE ACCESS, ETC.
P14	PROVIDE FLOOR DRAIN AND CONDENSATE DRAIN LINES FROM MECHANICAL UNITS INTO FLOOR DRAIN. TIE INTO EXISTING SEWER LINES.
P18	DOMESTIC COLD WATER. TIE INTO EXISTING WATER LINE.
P19	DOMESTIC HOT WATER. TIE INTO EXISTING WATER LINE.
P20	WATER, SANITARY VENT AND SEWER. TIE INTO EXISTING LINES AND VENTS.
P31	TIE NEW PLUMBING FIXTURE INTO EXISTING LINES.
P32	EXISTING INSPECTOR TEST PANEL FOR FIRE PROTECTION SPRINKLER SYSTEM.
P33	PROVIDE DRAIN FOR PRE-FABRICATED SHOWER PAN. SEE DETAIL 1/P101. VERIFY FINAL LOCATION.
P34	ACCESSIBLE SHOWER PAN BARRIER FREE ARCHITECTURALS INC. MODEL P26333A1FTB.
P35	PROVIDE FLOOR DRAIN. TIE INTO EXISTING SEWER LINES.



B ENLARGED PLAN
P101 1/4" = 1'-0"

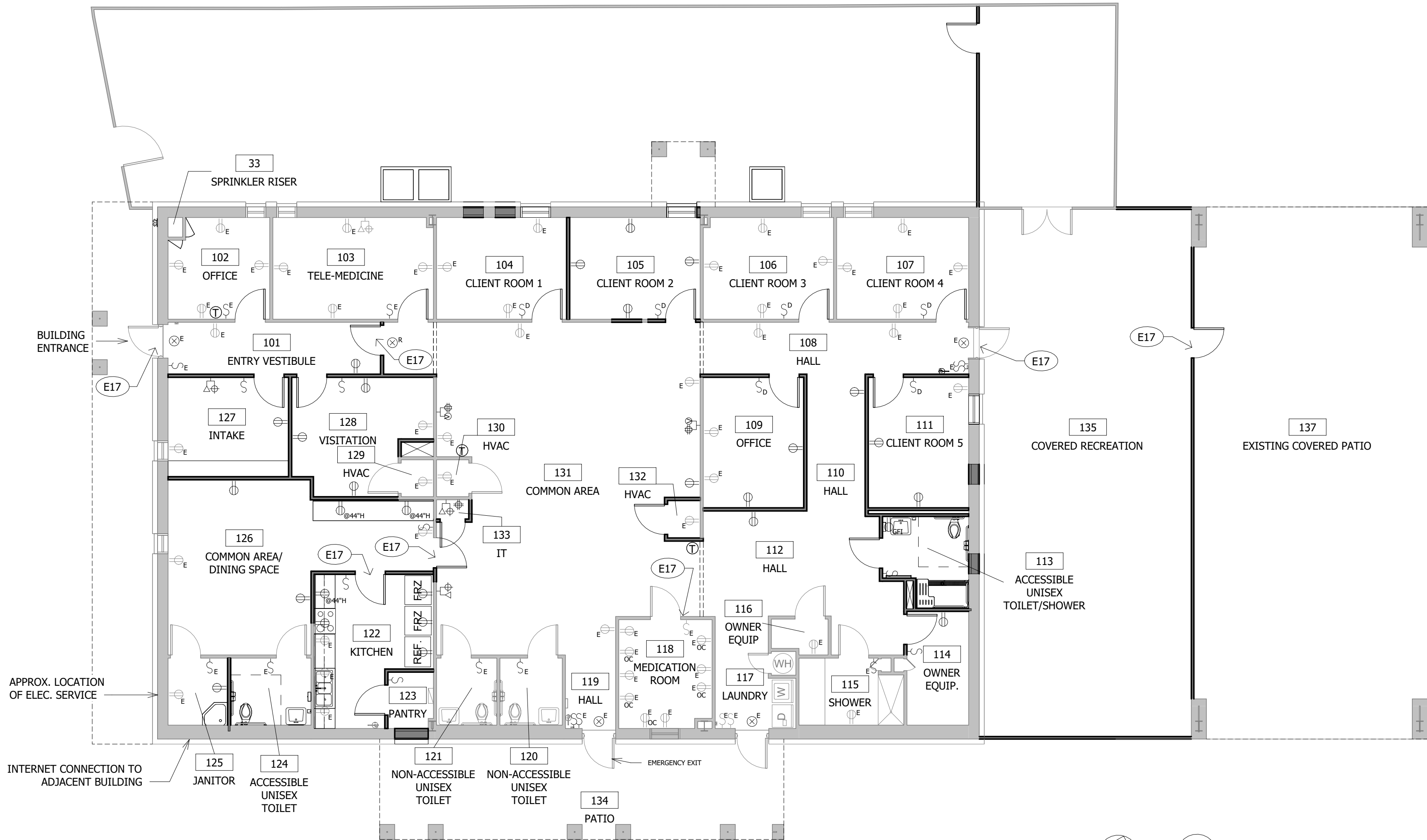



 **A** PLUMBING PLAN
P101 $1/8" = 1'-0"$

ELECTRICAL LEGEND	
TYP.	TYPICAL
E	EXISTING TO REMAIN "AS IS"
R	RELOCATED
	DUPLEX ELECTRICAL OUTLET - WALL MOUNTED (AT 1'-6" A.F.F. TYP.)
	DUPLEX ELECTRICAL OUTLET - WALL MOUNTED ABOVE COUNTERTOP OR AT HEIGHT INDICATED
	4-PLEX ELECTRICAL OUTLET - WALL MOUNTED (AT 1'-6" A.F.F. TYP.)
	DEDICATED DUPLEX (OR QUAD) ELECTRICAL OUTLET - AS SHOWN
	GROUND FAULT INTERRUPTED OUTLET
	DATA OUTLET - WALL MOUNTED AT 1'-6" A.F.F. (TYP.) EMPTY BOX WITH CONDUIT STUBBED OUT ABOVE CEILING FOR CABLE SUPPLIED AND INSTALLED BY OWNER. VERIFY HEIGHT
	PHONE OUTLET - WALL MOUNTED AT 1'-6" A.F.F. (TYP.) EMPTY BOX WITH CONDUIT STUBBED OUT ABOVE CEILING FOR CABLE SUPPLIED AND INSTALLED BY OWNER. VERIFY OWNER
	LIGHT SWITCH - WALL MOUNTED AT 4'-6" A.F.F. (TYP.)
	LIGHT SWITCH WITH DIMMER - WALL MOUNTED AT 4'-6" A.F.F. (TYP.)
	CEILING MOUNTED EXIT LIGHT (MATCH BUILDING STANDARD) WITH EMERGENCY POWER BATTERY PACK.
	THERMOSTAT - RELOCATE EXISTING AT 4'-6" A.F.F. (TYP.)
	DATA & PHONE LINE AT 1'-6" A.F.F. (TYP.) - EMPTY BOX WITH CONDUIT STUBBED OUT ABOVE CEILING FOR CABLE SUPPLIED AND INSTALLED BY OWNER
	VIDEO & OUTLET FOR TV MONITOR AT 1'-6" A.F.F. (TYP.)

NOTE: ELECTRICAL FLOOR PLAN IS SCHEMATIC - LICENSED ELECTRICAL CONTRACTORS TO INSTALL PER ALL GOVERNING CODES.

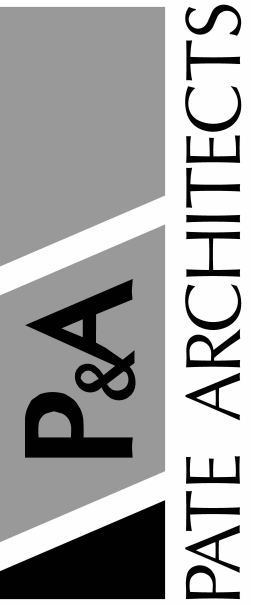
ELECTRICAL KEYNOTES	
E1	ALL ELECTRICAL CONSTRUCTION TO COMPLY WITH LOCAL BUILDING CODES AND ORDINANCES.
E3	CONTRACTOR CALCULATE ELECTRICAL LOADS FOR THE COMPLETED PROJECT. CONTRACTOR VERIFY EXISTING ELECTRICAL SERVICE AVAILABLE AT THE BUILDING. IF ADDITIONAL ELECTRICAL PANELS & BREAKER CAPACITY IS REQUIRED TO ADEQUATELY SERVE THE BUILDING, THEN EXPAND THE CAPACITY BY PROVIDING NEW SUB-PANELS OR REPLACE THE EXISTING ELECTRICAL PANEL. COORDINATE ADDITIONAL CIRCUITS AND/OR PANEL REQUIRED WITH BUILDING OWNER.
E4	VERIFY ALL EXISTING CONDITIONS (PANEL BOXES, NUMBER OF CIRCUITS IN USE AND AVAILABLE, ETC.).
E5	DO NOT LOCATE BOXES FOR ELECTRICAL OUTLETS, COMMUNICATION, DATA & PHONE SYSTEM OUTLETS, OR OTHER ELECTRICAL BOXES "BACK TO BACK" IN A WALL. GROUP ELECTRICAL, COMMUNICATIONS (AND OTHER OUTLET BOXES) IN A "GANG" CLOSE TOGETHER.
E6	IF EXISTING ELECTRICAL OUTLETS, COMMUNICATIONS OUTLETS, OR LIGHT SWITCHES ARE DELETED (AS THE RESULT OF DEMOLITION WORK, THE ADDITION OF A DOOR OPENING, OR SIMILAR WORK) OR IF EXISTING LIGHT FIXTURE SWITCHING IS MODIFIED, THEN TERMINATE THE EXISTING ELECTRICAL CIRCUIT ABOVE THE CEILING OR REWIRE THE DEVICE(S) OR FIXTURE(S) AS REQUIRED.
E12	EXISTING ELECTRICAL OUTLETS IN WALLS TO REMAIN UNLESS OTHERWISE NOTED.
E13	VERIFY ELECTRICAL DEVICES HEIGHTS ABOVE FINISHED FLOOR & ABOVE COUNTER TOPS. COMPLY WITH TAS/ADA REQUIREMENTS.
E14	COORDINATE, NOTIFY AND SCHEDULE ANY POWER INTERRUPTION WITH BUILDING OWNER & OCCUPANTS 48 HOURS (MIN.) IN ADVANCE.
E17	PREPARE DOOR FRAMES FOR ELECTRIC STRIKE. CARD READER AND ELECTRIC STRIKE PROVIDED AND INSTALLED BY OWNER.
E21	WHERE CONFLICT OCCURS IN THE PLANS OR SPECIFICATIONS WITH ANY LOCAL CODES, THE MORE STRINGENT REQUIREMENTS WILL APPLY.



 **A** ELECTRICAL FLOOR PLAN
E101 1/8" = 1'-0"

BID SET -
NOT FOR PERMITTING,
REGULATORY APPROVAL,
OR CONSTRUCTION
WALTER F. PATE, AIA

4500 W. ILLINOIS, SUITE 302
MIDLAND, TEXAS 79703



MIDLAND, TEXAS

RFP 24-0607 REMODEL FOR:
PERMIACARE

400 N. CARVER STREET, BLDG B

DATE ISSUED

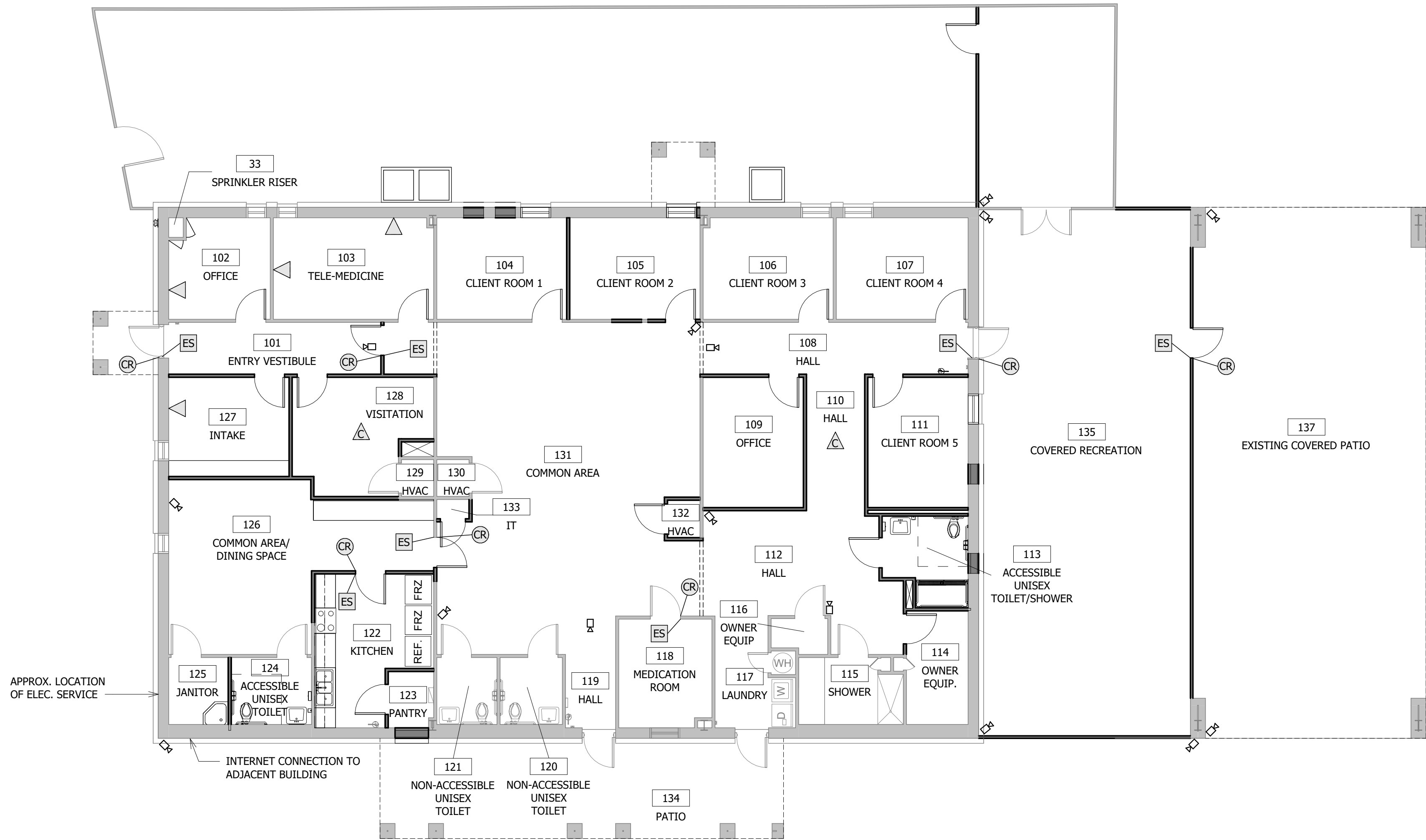
REVISIONS

SHEET NUMBER

E101

JOB NO.

2401A



A
E102

SPECIAL SYSTEMS-COMMUNICATIONS, CCTV, SECURITY & LOW VOLTAGE (BY OWNER)
1/8" = 1'-0"

RFP 24-0607 REMODEL FOR:
PERMIACARE

400 N. CARVER STREET, BLDG B

MIDLAND, TEXAS

4500 W. ILLINOIS, SUITE 302
MIDLAND, TEXAS 79703



432.697.0037
www.PateArchitects.com

BID SET -
NOT FOR PERMITTING,
REGULATORY APPROVAL,
OR CONSTRUCTION
WALTER F. PATE, AIA

DATE ISSUED
06/07/24

REVISIONS

SHEET NUMBER

E102

JOB NO.

2401A